



Town of Marblehead

ZONING BOARD OF APPEALS

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 12-14-15

ZBA APPLICATION

PAGE 1 of 3

Town Clerk

Project Address 4 Foster Street

Assessor Map(s) 907 Parcel Number(s) 5B

OWNER INFORMATION

Signature _____ date 10.26.20

Name (printed) Don & Noel Hendrich

Address 4 Foster Street, Marblehead MA 01945

Phone Numbers: home _____ work _____

E-mail henrich.don@gmail.com; henrich.noel@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature _____ date _____

Name (printed) Walter Jacob Architects LTD

Address 3 Pleasant Street, Marblehead MA 01945

Phone Numbers: home _____ work 781.631.7440

E-mail walter@architectwaj.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

This project includes the renovation of an existing garage to create a 3 bay garage & accessory pool house structure and deck which encroaches on the side-yard setback.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 10-28-2020
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Project Address 4 Foster Street

Map(s) / Parcel(s) 907/5B

ZONING DISTRICT (circle all that apply)B B1 BR CR SCR ECR GR SGR SR SSR ESR **(SESr)** HBR U SU**CURRENT USE** (explain) Shoreline Expanded Single Residence**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)Yes ☒ No ☐ (explain)**PROPOSED CHANGE OF USE**No ☒ Yes ☐ (explain)**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes ☒ No ☐**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
- ☒ Lot Width - Less than required (§200-7) *PSL*
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Other Non-conformities (explain)
- ☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☒ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- ☐ Other Non-conformities (explain)
- ☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes ☒	No ☐
Historic District Commission	Yes ☐	No ☒
Planning Board	Yes ☒	No ☐

DESIGN & SURVEY PLANS MEET ZBA RULES & REGULATIONS (Sections 3(A) and 3(C))Yes ☒ No ☐ (explain)

Building Official

Date 10-28-2020

Project Address 4 Foster StreetMap(s) / Parcel(s) 907/5B**NET OPEN AREA (NOA)****EXISTING****PROPOSED**

Lot area = A

+/- 29,300

+/- 29,300

Area of features

footprint of accessory building(s)

720 (624+96)

967 (624+343)

footprint of building

1,686 SF

1,686 SF

footprint of deck(s), porch(es), step(s), bulkhead(s)

424 (343+81)

1,023 (424+222+377)

number of required parking spaces 2 x (9' x 20' per space)

360

360

area of pond(s), or tidal area(s) below MHW

-

-

other areas (explain) _____

3,190

4,036

Sum of features = B

26,110

25,264

Net Open Area (NOA) = (A - B)

GROSS FLOOR AREA (GFA)

accessory structure(s)

720 (624+96)

1,570 (624+343+603)

basement or cellar (area >5' in height)

1,686

1,686

1st floor (12' or less in height) NOTE: [for heights exceeding

1,961

1,961

2nd floor (12' or less in height) 12' see definition

-

-

3rd floor (12' or less in height) of STORY §200-71

-

-

4th floor (12' or less in height)

-

-

attic (area >5' in height)

-

-

area under deck (if >5' in height)

424 (343+81)

1,023 (424+222+377)

roofed porch(es)

-

-

Gross Floor Area (GFA) = sum of the above areas

4,791

6,240

Proposed total change in GFA = (proposed GFA - existing GFA)

= 1,449 SF

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 30.24 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

= 5.45

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

= 4.05

This worksheet applies 1. plan by/dated N^o Shore Survey 10-21-2020
 to the following plan(s): 2. plan by/dated WALTER JACOB ARCHITECT 10-27-2020
 3. plan by/dated _____

Building Official _____

Date 10-28-2020

PROJECT TEAM

CLIENT

Noel and Don Henrich
4 Foster St.
Marblehead, MA 01945

ARCHITECT

Walter Jacob Architects LTD.
3 Pleasant Street
Marblehead, MA 01945
T: 781-631-7440
F: 781-631-7441
E: walter@architectwaj.com

SURVEYOR

Northshore Survey Corporation
14 Brown Street,
Salem, Ma, 01970

PROJECT LOCATION

4 Foster Street
Marblehead, MA 01945

PROJECT DESCRIPTION:

Project includes the renovation of an existing garage to create a 3 bay garage & accessory pool house structure and deck which encroaches on the side-yard setback.

GENERAL NOTES:

1. New windows to be painted wood to match existing
2. Exterior trim to be painted wood
3. Improvements to pool deck, fence and landscape.

SYMBOLS

ROOM 100	ROOM/AREA DESIGNATION
	WINDOW TAG
	EXTERIOR ELEVATION REFERENCE
	NORTH ARROW
	DOOR AND DOOR DIMENSION (WIDTH & HEIGHT)
	NEW WALL
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	DIMENSION STRING

DRAWING INDEX

CS.1	Cover Sheet
-	Survey
P1	Existing Conditions Photographs
L1	Existing Landscape Plan
L2	Proposed Landscape Plan
X2	Existing First Level Plan
A2	Proposed First Level Plan
X3	Existing Second Level Plan
A3	Proposed Second Level Plan
X3	Existing Roof Level Plan
A5	Proposed Roof Level Plan
X6	Existing Elevations
A6	Proposed Elevations
X7	Existing Elevations
A7	Proposed Elevations

NOTE:

DRAWINGS SHOW WORK ON THE ACCESSORY STRUCTURE ONLY.
CALCULATIONS CONSIDER BOTH STRUCTURES (MAIN HOUSE), DIMENSIONAL
INFORMATION ON SURVEY FOCUSES ON ACCESSORY STRUCTURE. THERE ARE
NO PROPOSED CHANGES TO THE MAIN STRUCTURE.



Garage/Pool House

Walter Jacob Architects LTD
3 Pleasant Street
Marblehead, MA 01945
781.631.7440

Reviewed by
Building Department
For Zoning Board
Of Appeals

CS.1

4 Foster Street, Marblehead, MA 01945

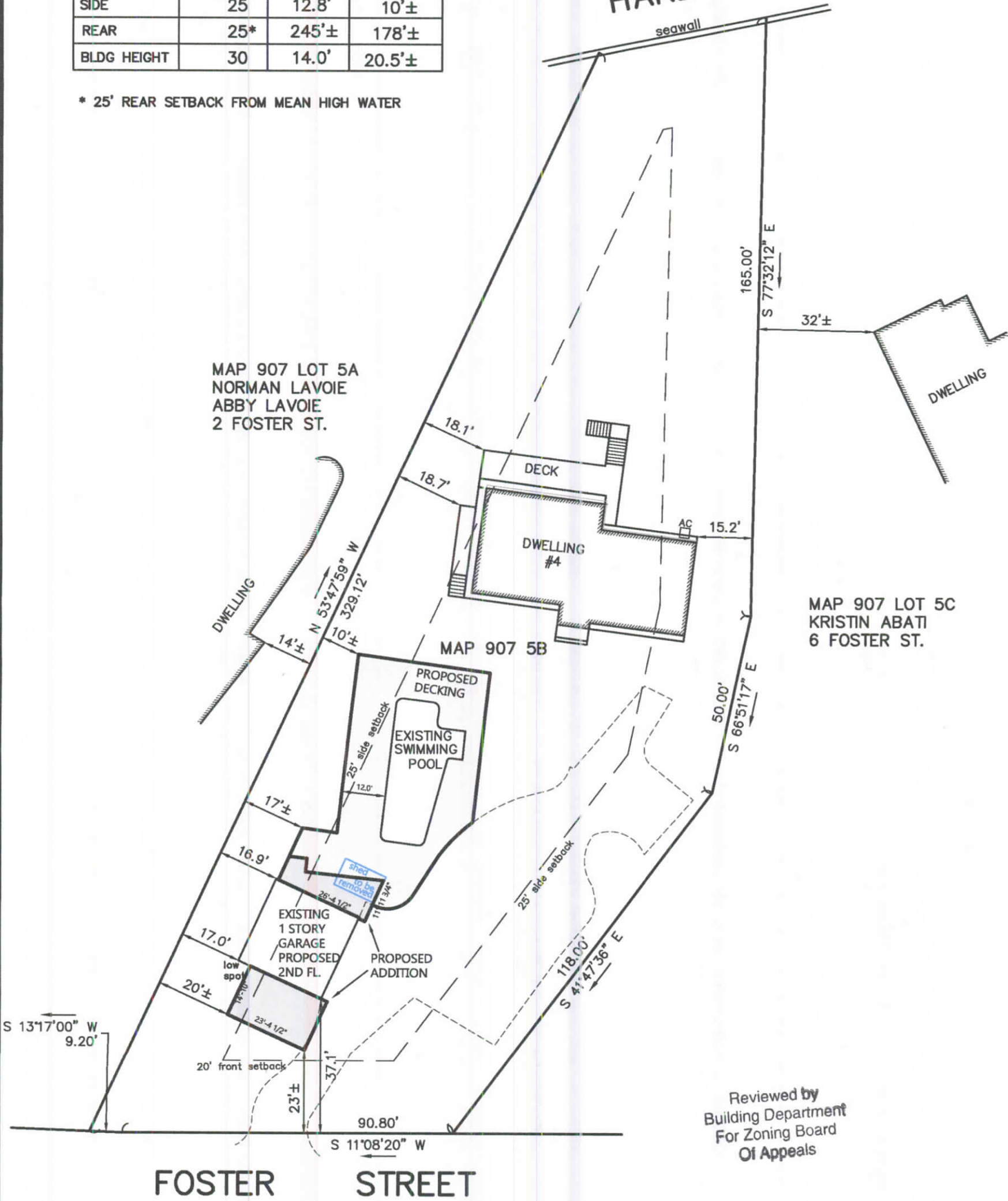
ZONING DISTRICT – SHORELINE EXPANDED SINGLE RESIDENCE

	REQUIRED	EXISTING GARAGE	PROPOSED GARAGE/DECK
LOT AREA	35,000	29,300±	29,300±
FRONTAGE	100	100.00'	100.00'
FRONT	20	37.1'	23'±
SIDE	25	12.8'	10'±
REAR	25*	245'±	178'±
BLDG HEIGHT	30	14.0'	20.5'±

* 25' REAR SETBACK FROM MEAN HIGH WATER



MARBLEHEAD HARBOR



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FOSTER STREET

ZONING BOARD OF APPEALS PLAN

4 FOSTER STREET

MARBLEHEAD

PROPERTY OF

NOEL & DONALD HENRICH

1" = 30' OCTOBER 12, 2020

NORTH SHORE SURVEY CORPORATION

14 BROWN ST. – SALEM, MA

(978) 744-4800

4205

THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.

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TD
feet
345
440



EXISTING GARAGE, STREET PERSPECTIVE



EXISTING GARAGE, FRONT PERSPECTIVE



POOL AND SHED, REAR PERSPECTIVE



EXISTING GARAGE, STREET PERSPECTIVE

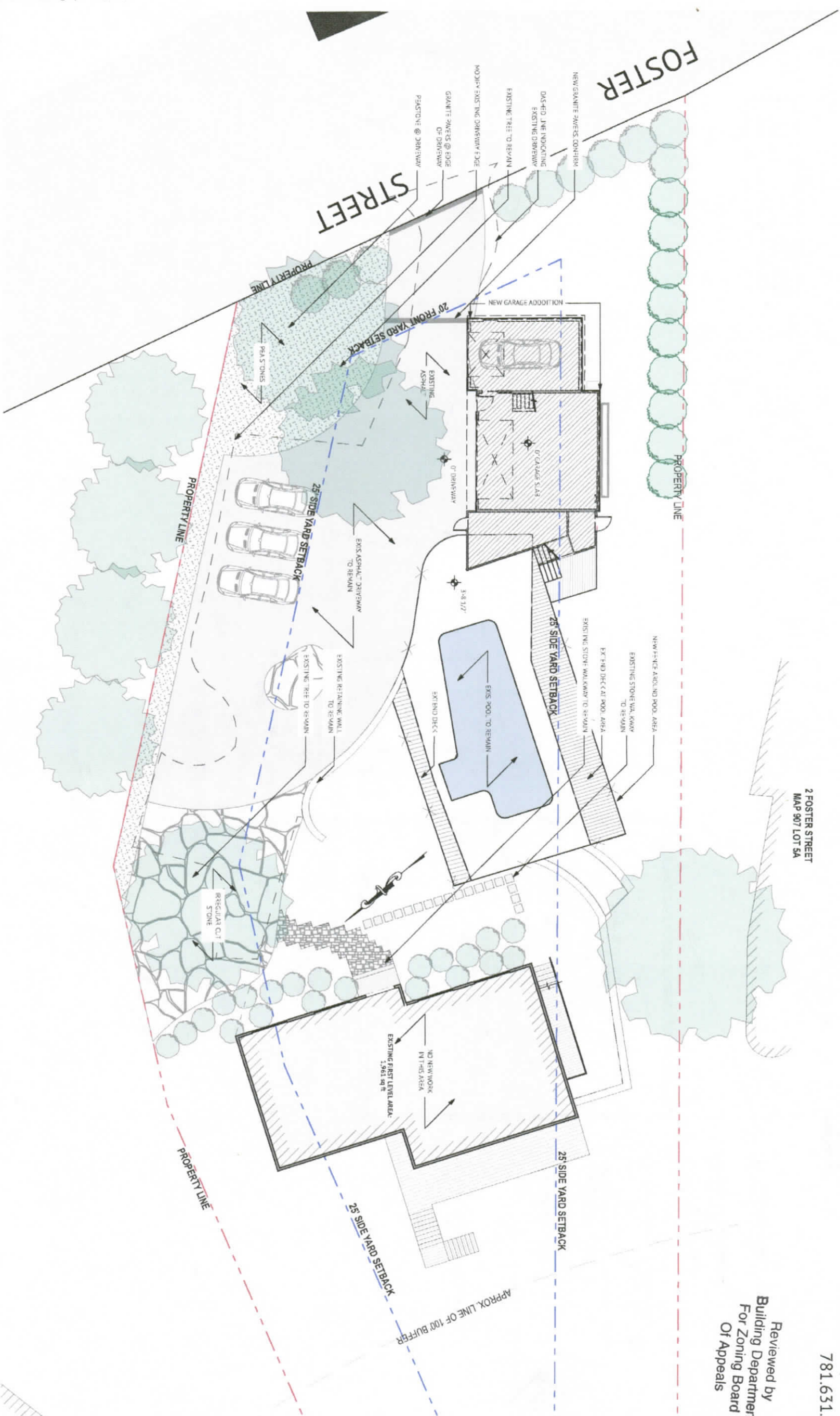
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Site Level Plan

SCALE: 1" = 20'



2 FOSTER STREET
MAP 907 LOT 5A

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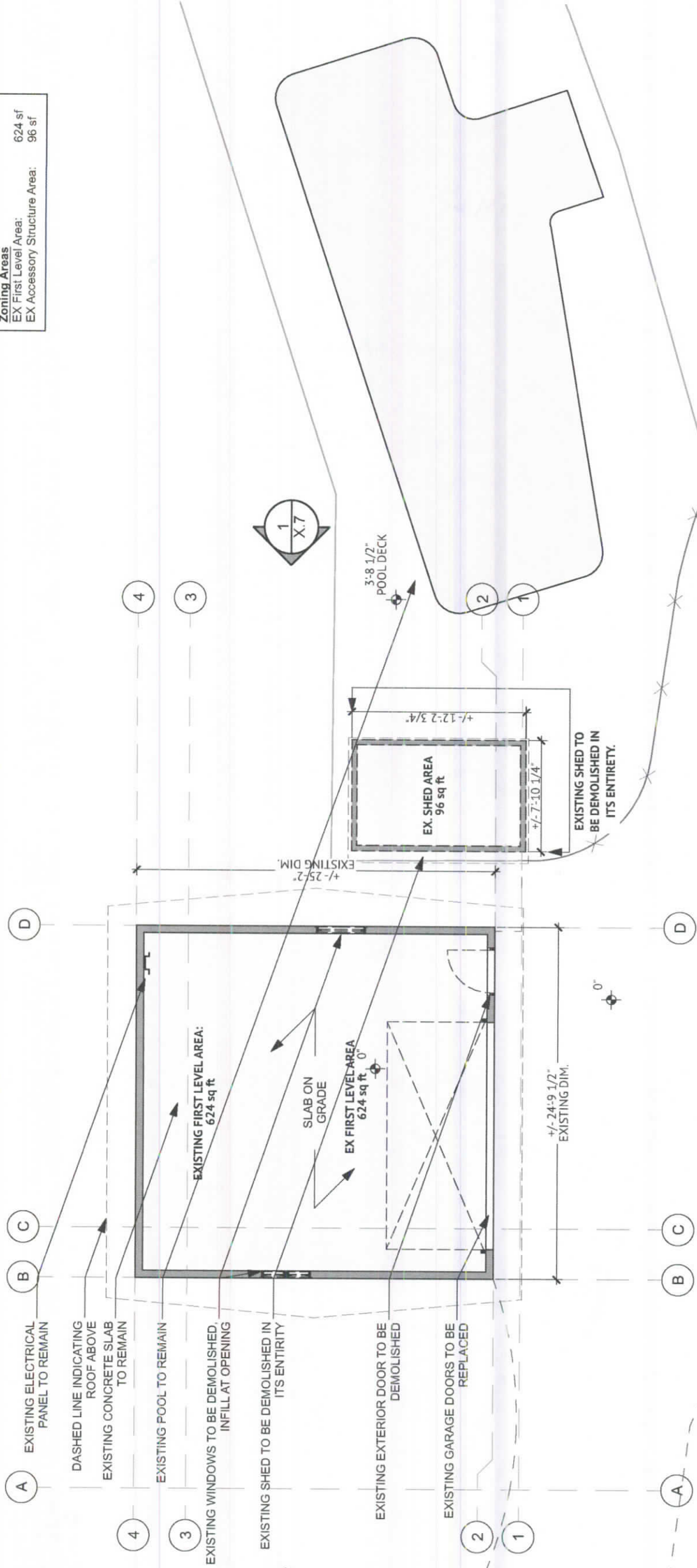
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Zoning Areas	
EX First Level Area:	624 sf
EX Accessory Structure Area:	96 sf



Existing First Level Plan

SCALE: 1/8" = 1'-0"

Existing First Level Plan

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Zoning Areas	
PR First Level Area: (624 ex + 343 pr)	967 sf
PR Building Footprint: (624 ex + 343 pr)	967 sf
PR Area Under Decks: (222 pr + 377 pr)	599 sf

1

Proposed First Level Plan

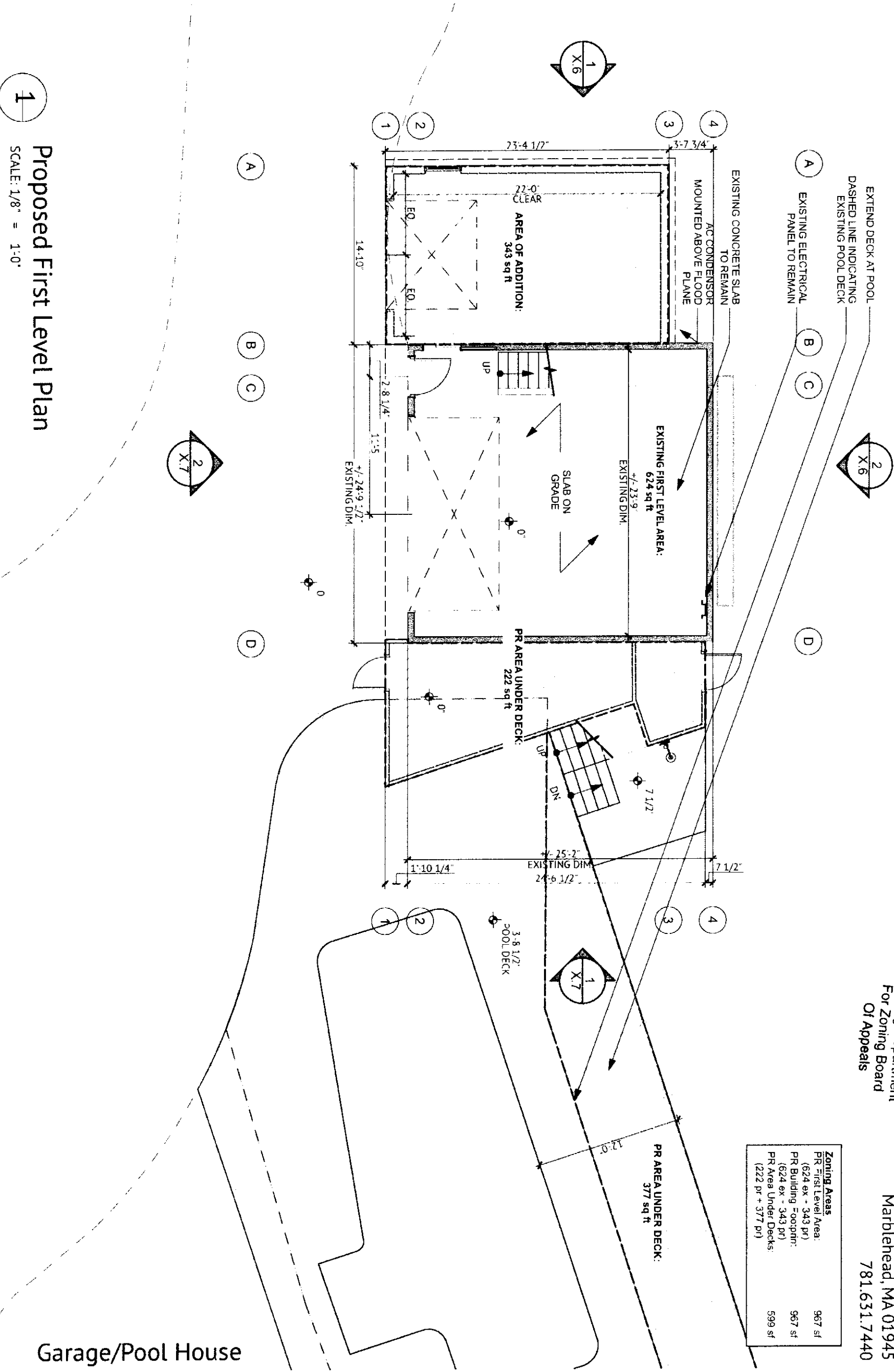
SCALE: 1/8" = 1'-0"

Proposed First Level Plan

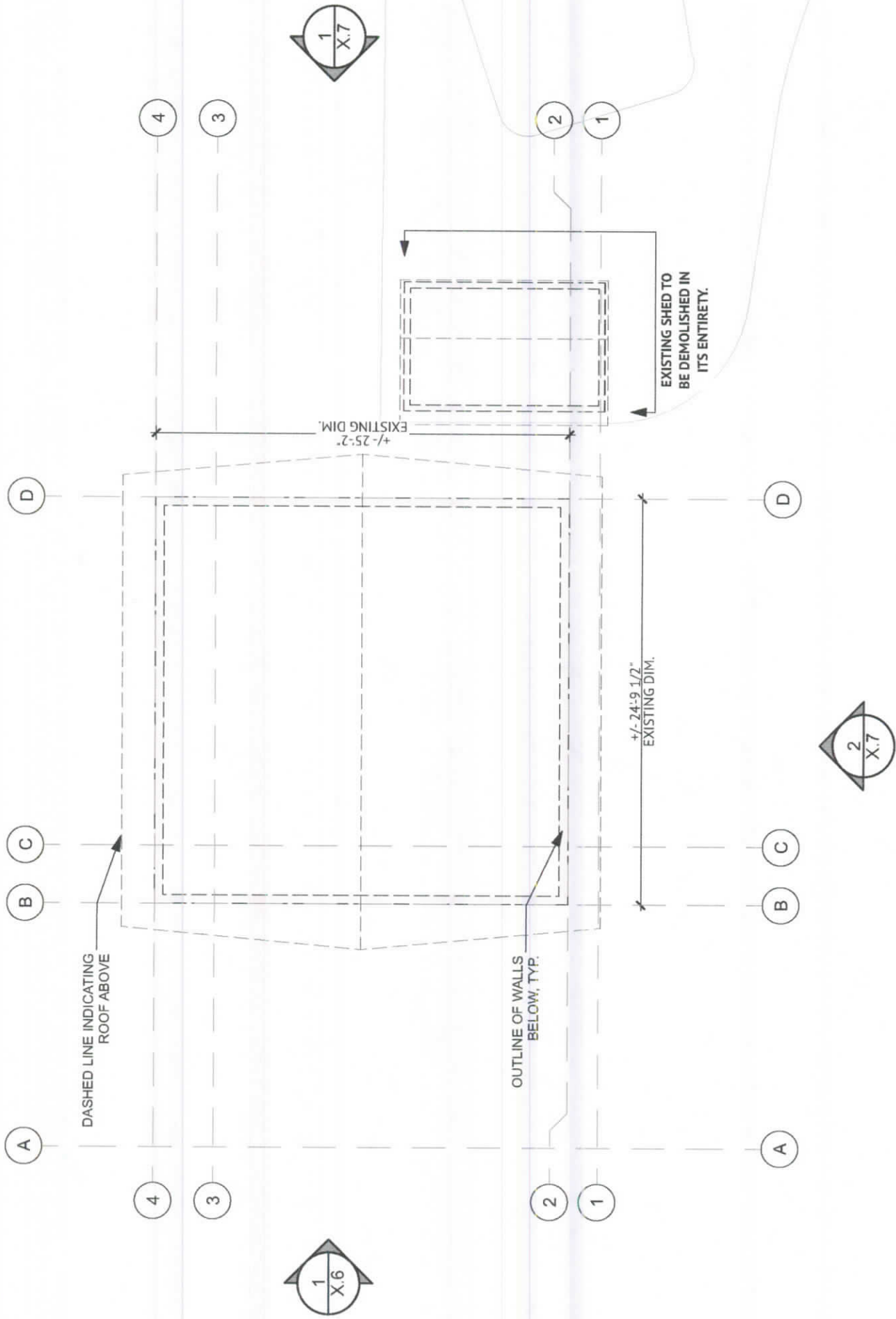
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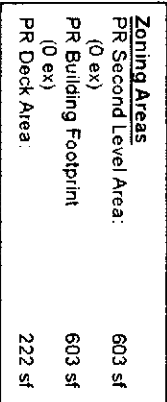
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Zoning Areas
EX Second Level Area: 0 sf



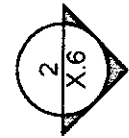


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A

B

C

D

EXISTING ROOF TO BE
DEMOLISHED

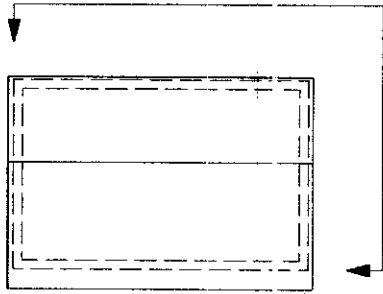
4

3



4

3



EXISTING SHED TO
BE DEMOLISHED IN
ITS ENTIRETY.

2

1

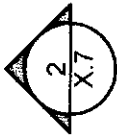
OUTLINE OF WALLS
BELOW, TYP.

A

B

C

D



1 Existing Roof Level Plan

SCALE: 1/8" = 1'-0"

Existing Roof Level Plan

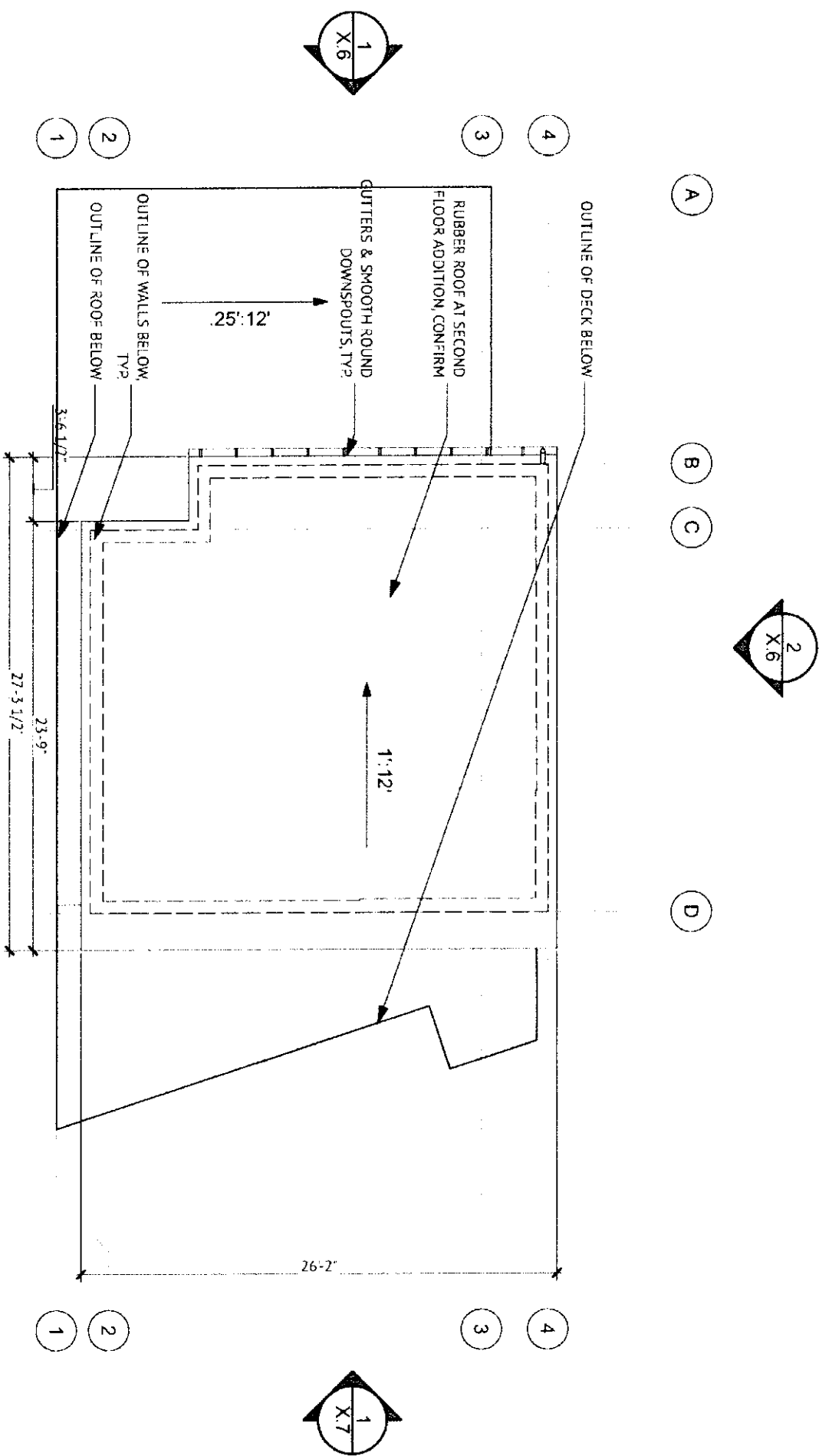
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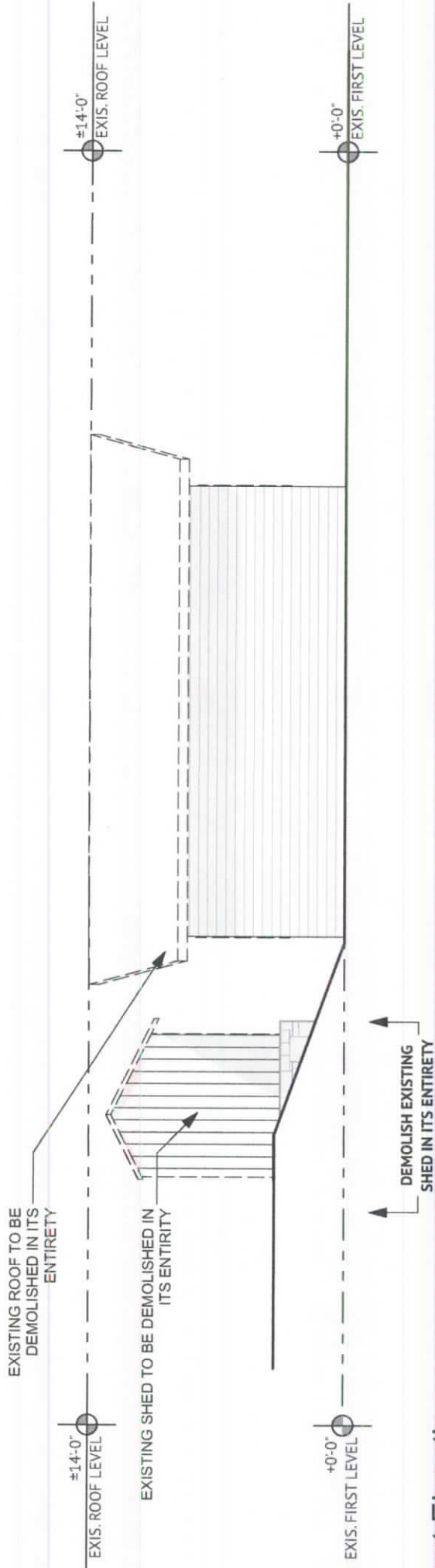


Proposed Roof Level Plan

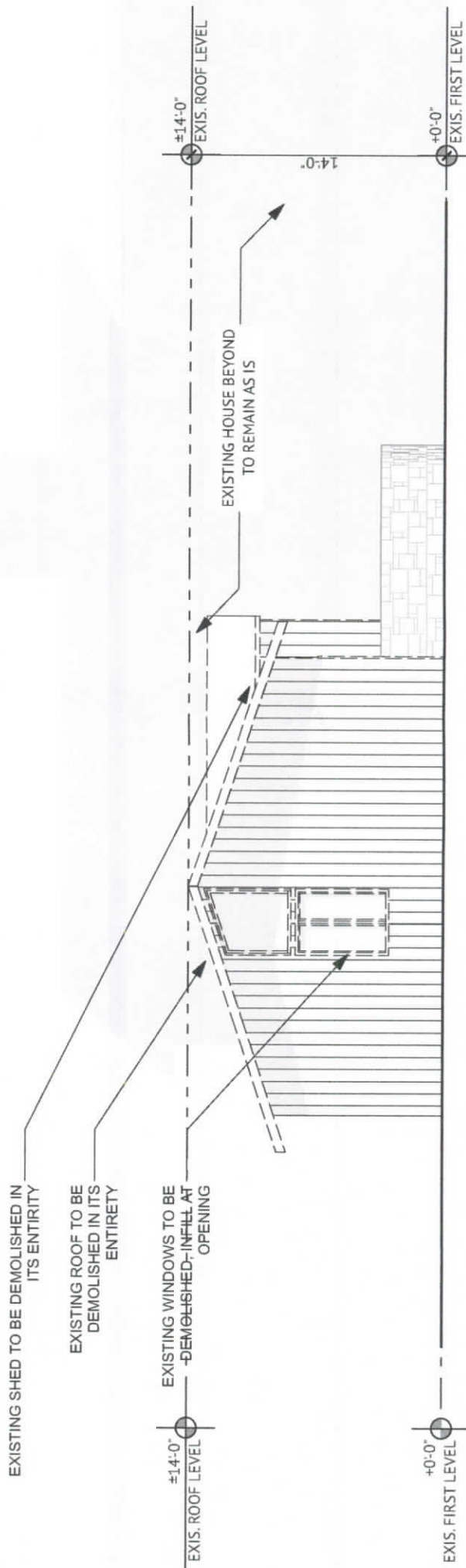
SCALE: 1/8" = 1'-0"

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2 West Elevation
SCALE: 1/8" = 1'-0"



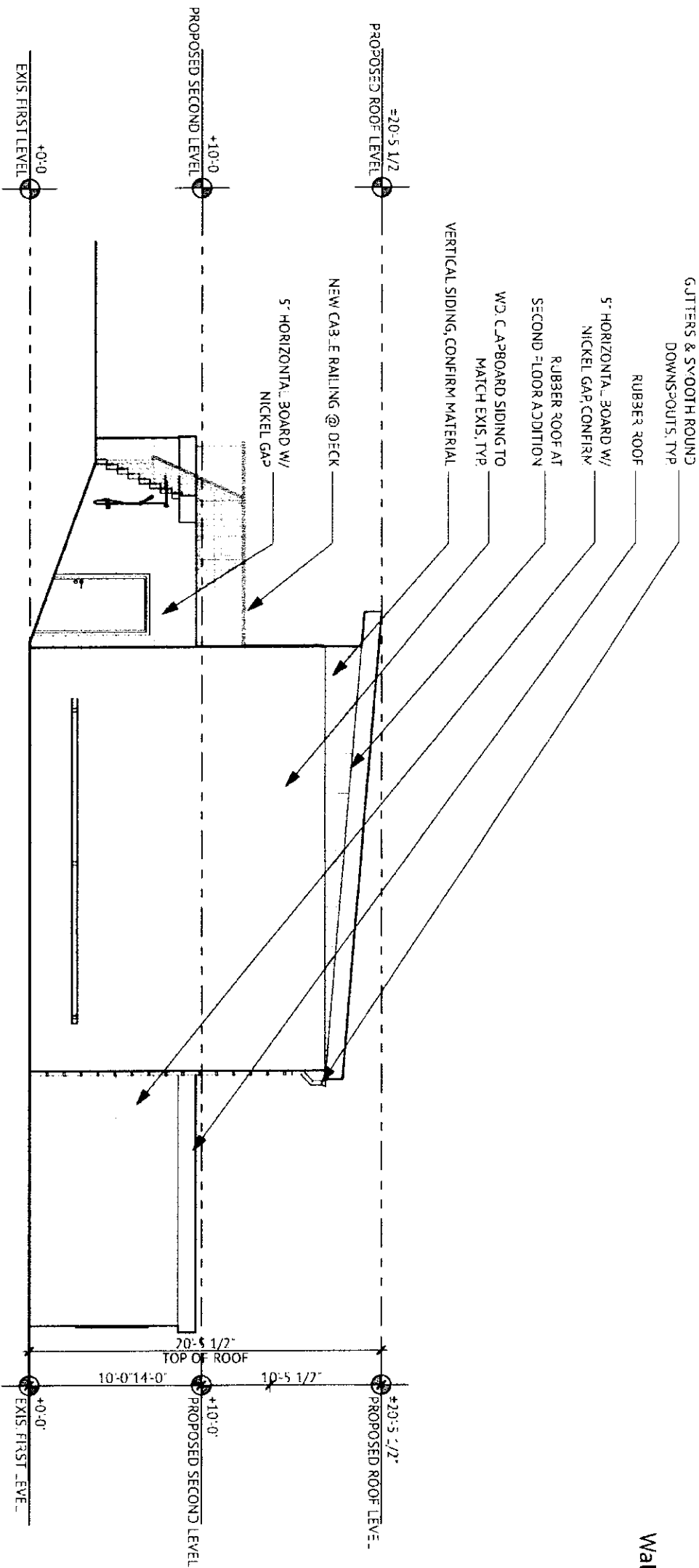
1 South Elevation
SCALE: 1/8" = 1'-0"

Existing Elevations

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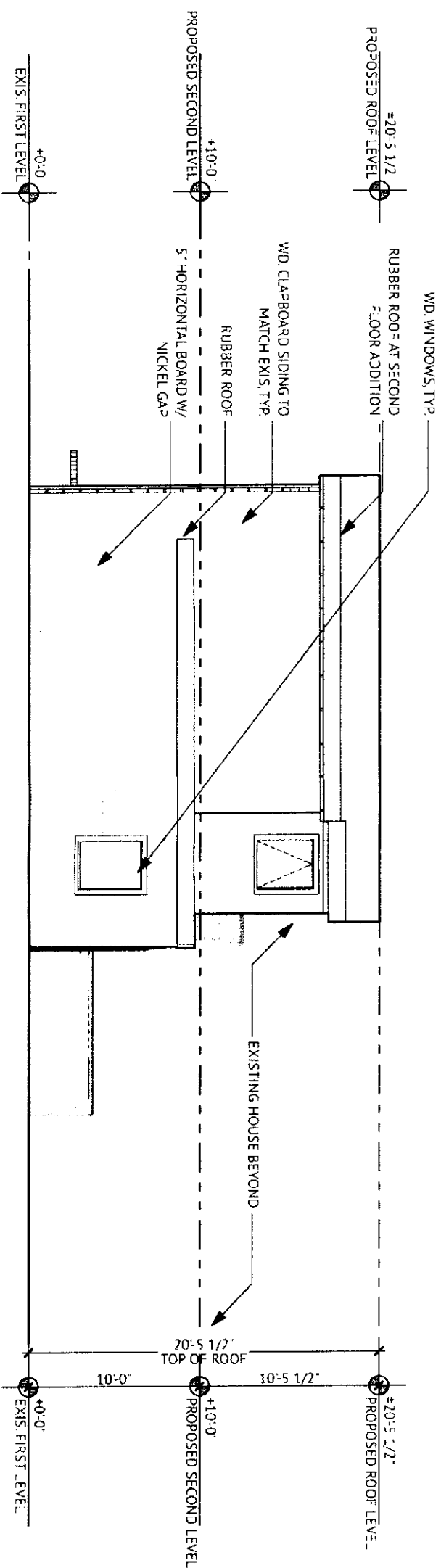
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2
West Elevation

SCALE: 1/8" = 1'-0"



1
South Elevation

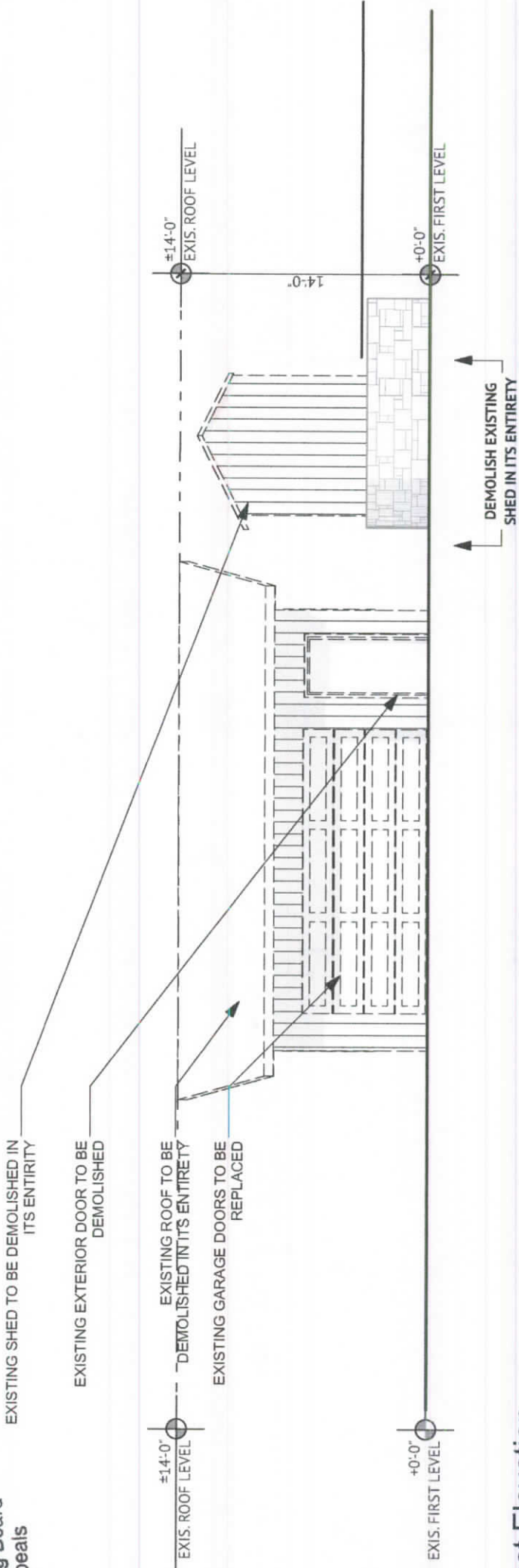
SCALE: 1/8" = 1'-0"

Garage/Pool House

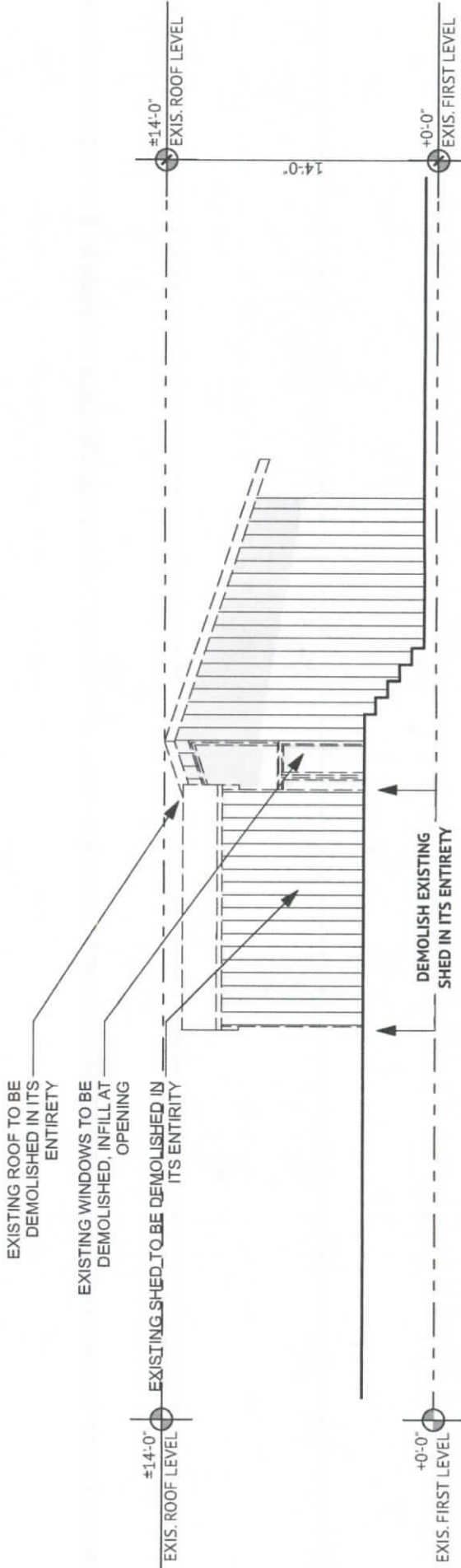
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2 East Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"

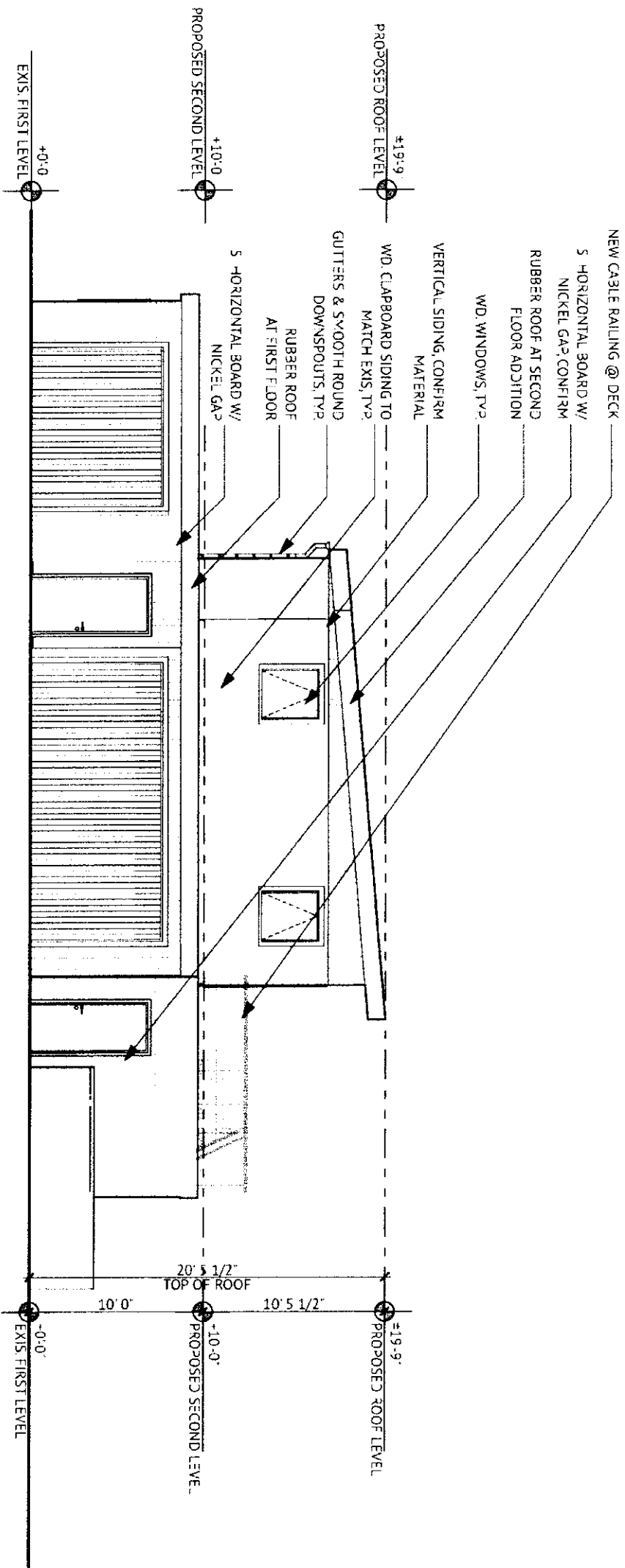
Existing Elevations

10.27.20 Marblehead Zoning Board of Appeals

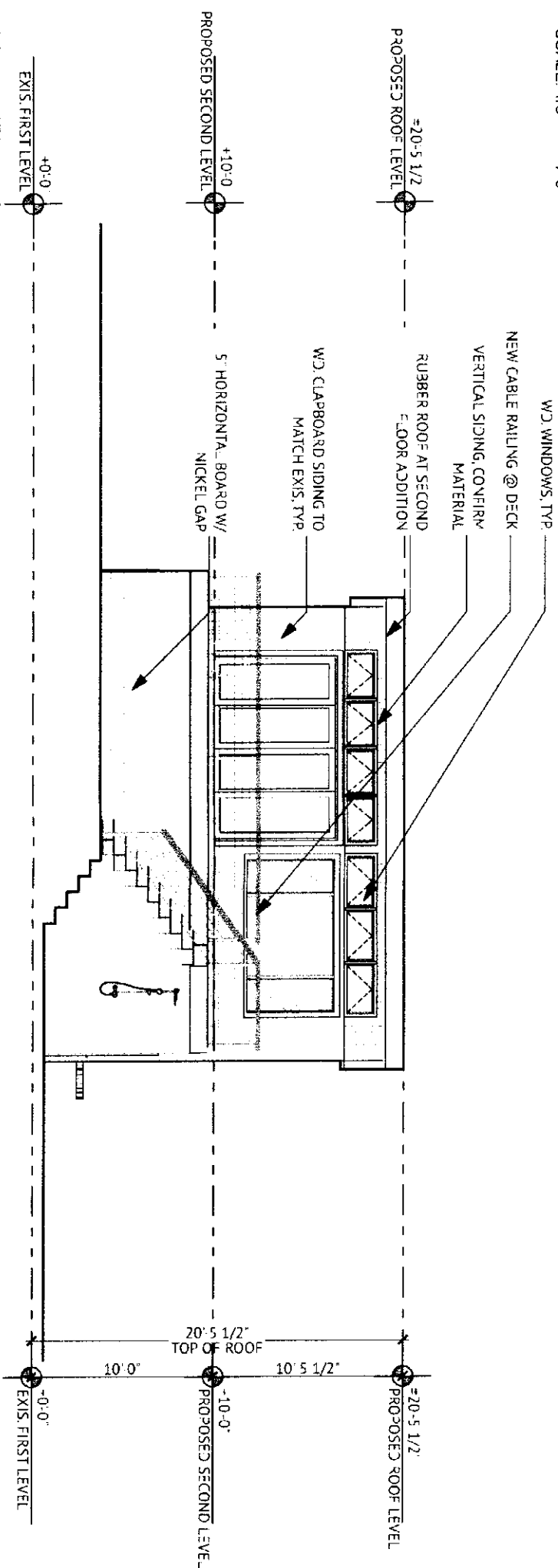
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2
East Elevation
SCALE: 1/8" = 1'-0"



1
North Elevation
SCALE: 1/8" = 1'-0"

Garage/Pool House

