



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

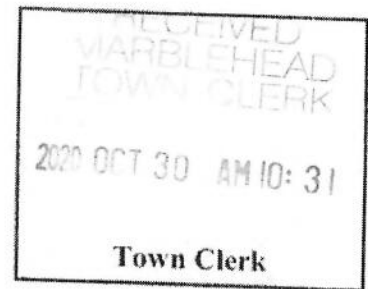
Revision Date: 12-14-15

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 4 Foster Street

Assessor Map(s) 907

Parcel Number(s) 5B

OWNER INFORMATION

Signature _____ date 10.26.20

Name (printed) Don & Noel Hendrich

Address 4 Foster Street, Marblehead MA 01945

Phone Numbers: home _____

work _____

E-mail henrich.don@gmail.com; henrich.noel@gmail.com

fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 10.29.20

Name (printed) Walter Jacob Architects LTD

Address 3 Pleasant Street, Marblehead MA 01945

Phone Numbers: home _____

work 781.631.7440

E-mail walter@architectwaj.com

fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

This project includes the renovation of an existing garage to create a 3 bay garage & accessory pool house structure and deck which encroaches on the side-yard setback.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 10-28-2020
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-14-2015

Project Address 4 Foster Street

Map(s) / Parcel(s) 907/5B

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR **(SESR)** HBR U SU

CURRENT USE (explain) Shoreline Expanded Single Residence

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☒ No ☐

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
- ☒ Lot Width - Less than required (§200-7) RSI
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Other Non-conformities (explain) _____
- ☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☒ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- ☐ Other Non-conformities (explain) _____
- ☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission

Yes ☒ No ☐

Historic District Commission

Yes ☐ No ☒

Planning Board

Yes ☒ No ☐

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official _____

Date 10-28-2020

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-14-2015

Project Address 4 Foster Street

Map(s) / Parcel(s) 907/5B

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

+/- 29,300

+/- 29,300

Area of features

footprint of accessory building(s)

720 (624+96)

967 (624+343)

footprint of building

1,686 SF

1,686 SF

footprint of deck(s), porch(es), step(s), bulkhead(s)

424 (343+81)

1,023 (424+222+377)

number of required parking spaces 2 x (9' x 20' per space)

360

360

area of pond(s), or tidal area(s) below MHW

-

-

other areas (explain) _____

-

-

Sum of features = B

3,190

4,036

Net Open Area (NOA) = (A - B)

26,110

25,264

GROSS FLOOR AREA (GFA)

accessory structure(s)

720 (624+96)

1,570 (624+343+603)

basement or cellar (area >5' in height)

1,686

1,686

1st floor (12' or less in height) **NOTE:** [for heights exceeding

1,961

1,961

2nd floor (12' or less in height) 12' see definition

-

-

3rd floor (12' or less in height) of STORY §200-7]

-

-

4th floor (12' or less in height)

-

-

attic (area >5' in height)

-

-

area under deck (if >5' in height)

424 (343+81)

1,023 (424+222+377)

roofed porch(es)

-

-

Gross Floor Area (GFA) = sum of the above areas

4,791

6,240

Proposed total change in GFA = (proposed GFA - existing GFA)

= 1,449 SF

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100

= 30.24 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

= 5.45

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

= 4.05

This worksheet applies 1. plan by/dated N^o SHORE SURVEY 10-21-2020
 to the following plan(s): 2. plan by/dated WALTER JACOB ARCHITECT 10-27-2020
 3. plan by/dated _____

Building Official _____

Date 10-28-2020

PROJECT TEAM

CLIENT

Noel and Don Henrich
4 Foster St.
Marblehead, MA 01945

ARCHITECT

Walter Jacob Architects LTD.
3 Pleasant Street
Marblehead, MA 01945
T: 781-631-7440
F: 781-631-7441
E: walter@architectwaj.com

SURVEYOR

Northshore Survey Corporation
14 Brown Street,
Salem, Ma, 01970

PROJECT LOCATION

4 Foster Street
Marblehead, MA 01945

PROJECT DESCRIPTION:

Project includes the renovation of an existing garage to create a 3 bay garage & accessory pool house structure and deck which encroaches on the side-yard setback.

GENERAL NOTES:

1. New windows to be painted wood to match existing
2. Exterior trim to be painted wood
3. Improvements to pool deck, fence and landscape.

SYMBOLS

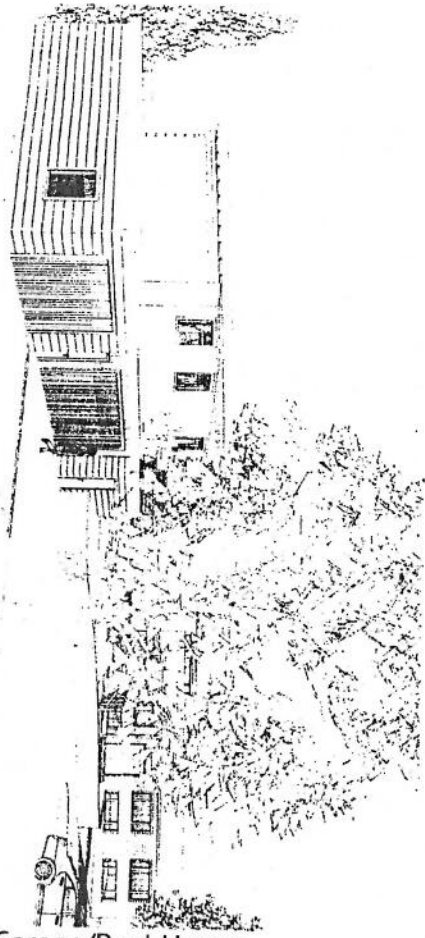
ROOM	ROOM/AREA DESIGNATION
100	WINDOW TAG
	EXTERIOR ELEVATION REFERENCE
	NORTH ARROW
	DOOR AND DOOR DIMENSION (WIDTH & HEIGHT)
	NEW WALL
	EXISTING WALL TO REMAIN
	WALL TO BE DEMOLISHED
	DIMENSION STRING

DRAWING INDEX

CS.1	Cover Sheet
-	Survey
P.1	Existing Conditions Photographs
L.1	Existing Landscape Plan
L.2	Proposed Landscape Plan
X.2	Existing First Level Plan
A.2	Proposed First Level Plan
X.3	Existing Second Level Plan
A.3	Proposed Second Level Plan
X.3	Existing Roof Level Plan
A.5	Proposed Roof Level Plan
X.6	Existing Elevations
A.6	Proposed Elevations
X.7	Existing Elevations
A.7	Proposed Elevations

NOTE:

DRAWINGS SHOW WORK ON THE ACCESSORY STRUCTURE ONLY. CALCULATIONS CONSIDER BOTH STRUCTURES (MAIN HOUSE), DIMENSIONAL INFORMATION ON SURVEY FOCUSES ON ACCESSORY STRUCTURE. THERE ARE NO PROPOSED CHANGES TO THE MAIN STRUCTURE.



Garage/Pool House

CS.1

4 Foster Street, Marblehead, MA 01945

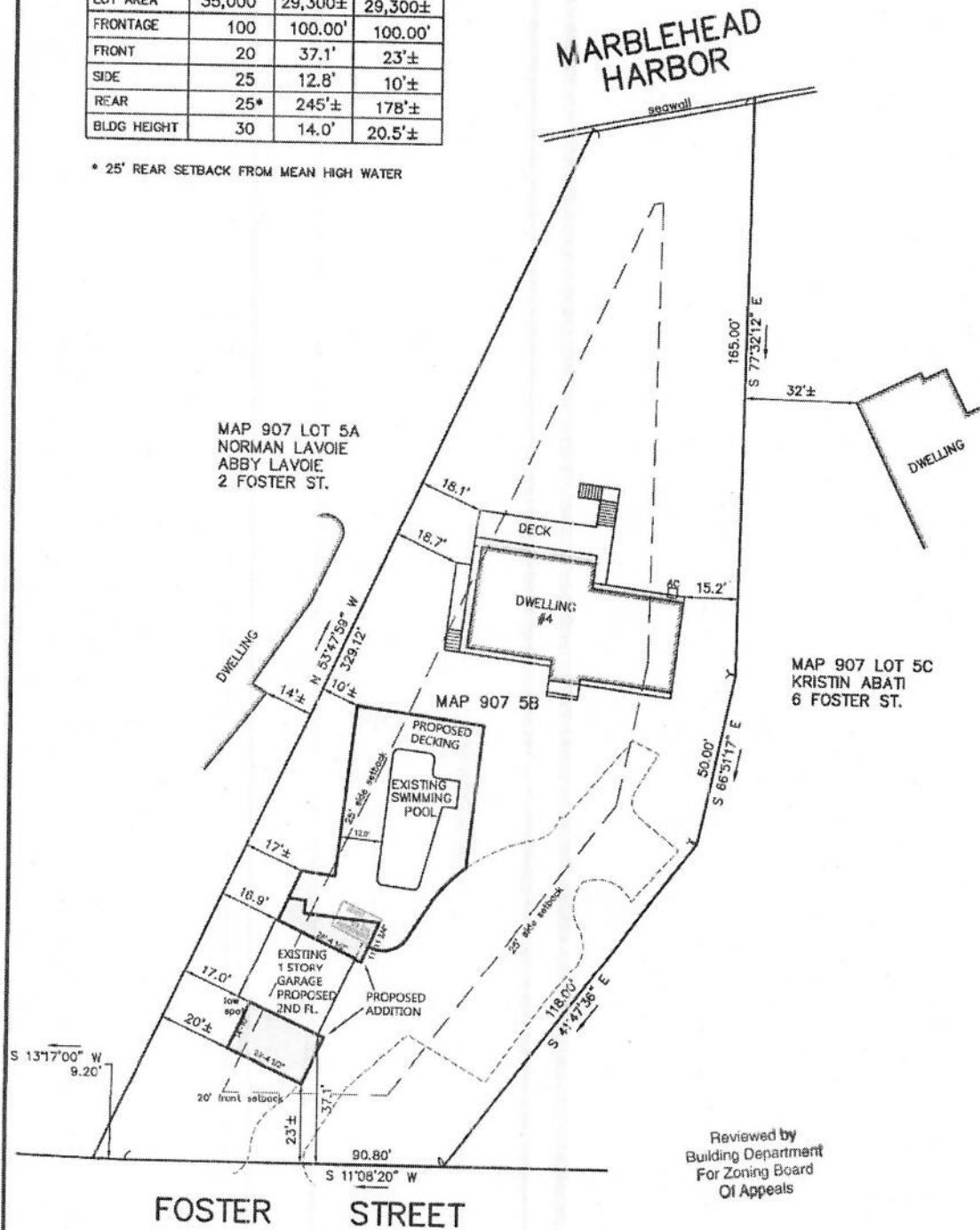
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ZONING DISTRICT - SHORELINE EXPANDED SINGLE RESIDENCE

LOT AREA	REQUIRED	EXISTING GARAGE	PROPOSED GARAGE/DECK
FRONTAGE	35,000	29,300±	29,300±
FRONT	100	100.00'	100.00'
SIDE	20	37.1'	23'±
REAR	25	12.8'	10'±
BLDG HEIGHT	25*	245'±	178'±
	30	14.0'	20.5'±

* 25' REAR SETBACK FROM MEAN HIGH WATER



ZONING BOARD OF APPEALS PLAN

4 FOSTER STREET

MARBLEHEAD

PROPERTY OF

NOEL & DONALD HENRICH

1" = 30' OCTOBER 12, 2020

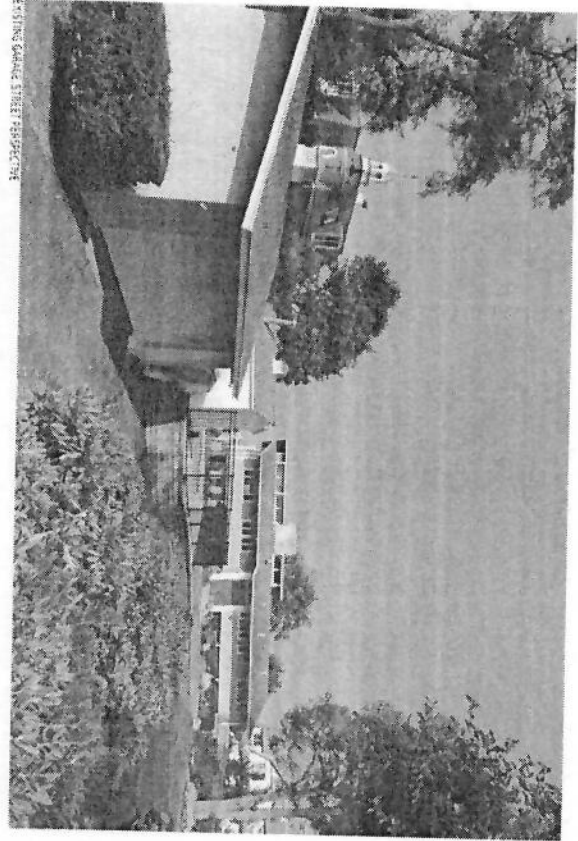
NORTH SHORE SURVEY CORPORATION

14 BROWN ST. - SALEM, MA

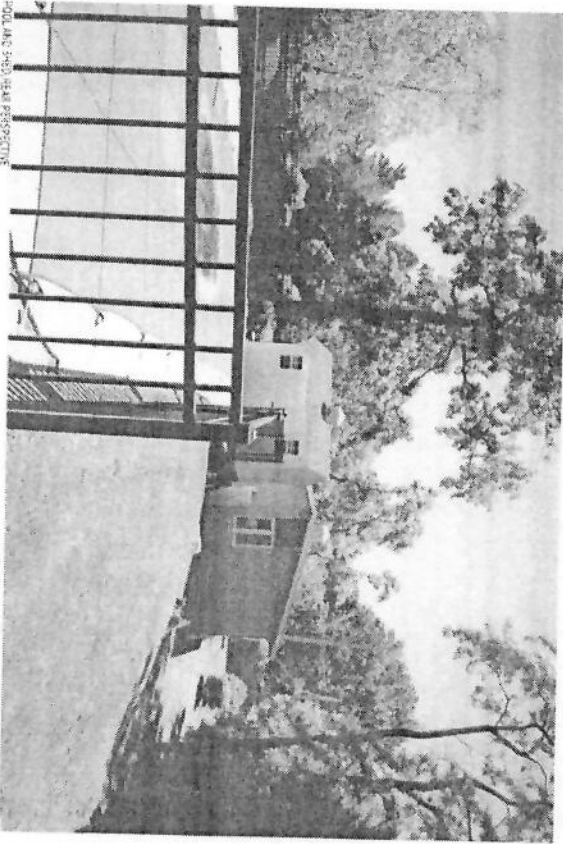
(978) 744-4800

4205

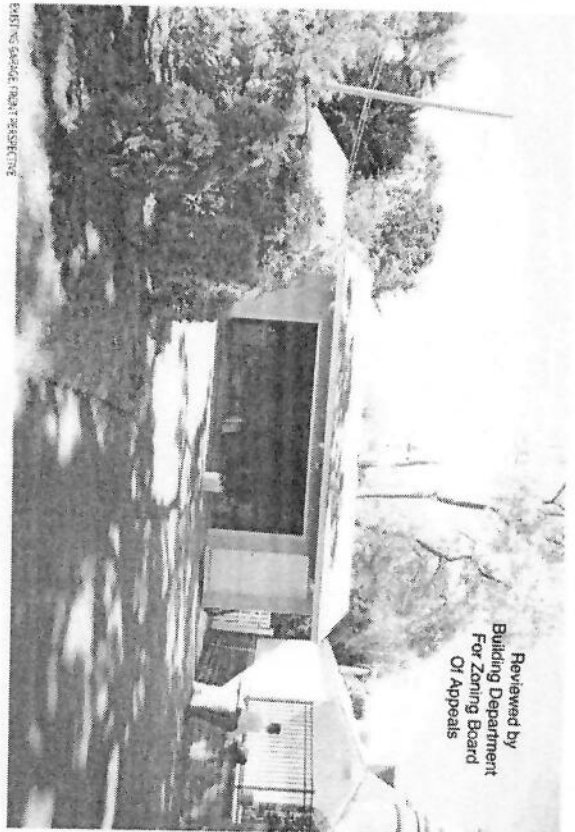
THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.



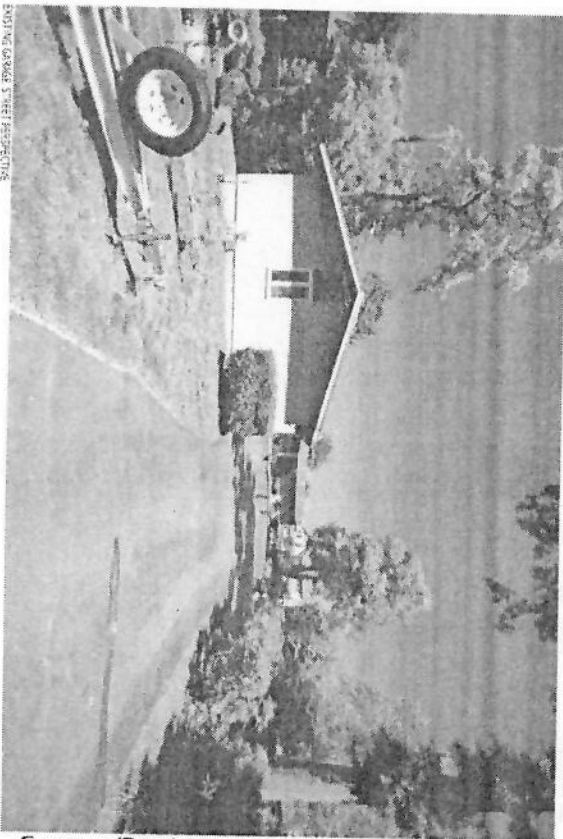
EXISTING GARAGE STREET PERSPECTIVE



EXISTING GARAGE STREET PERSPECTIVE



EXISTING GARAGE STREET PERSPECTIVE



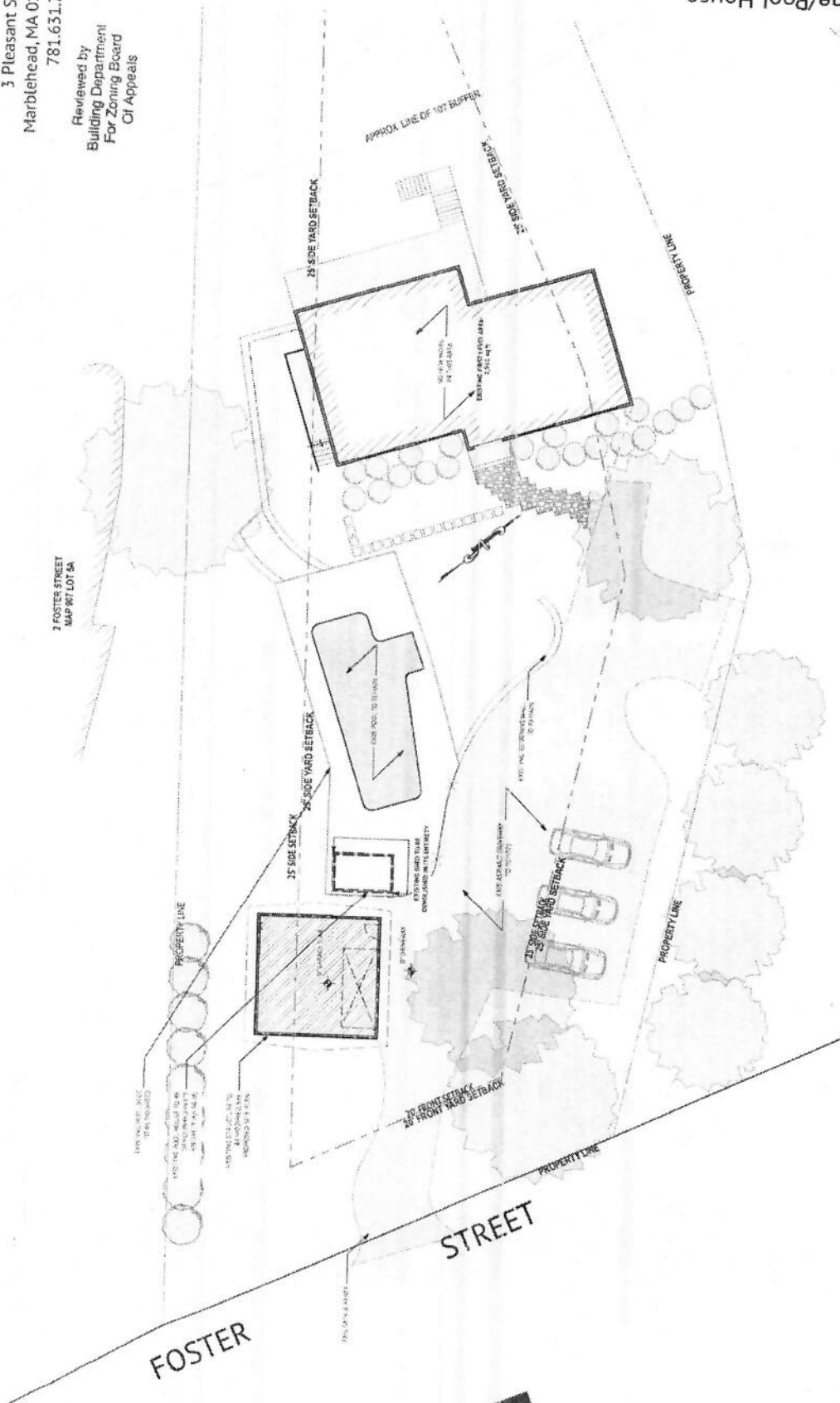
EXISTING GARAGE STREET PERSPECTIVE

Garage/Pool House

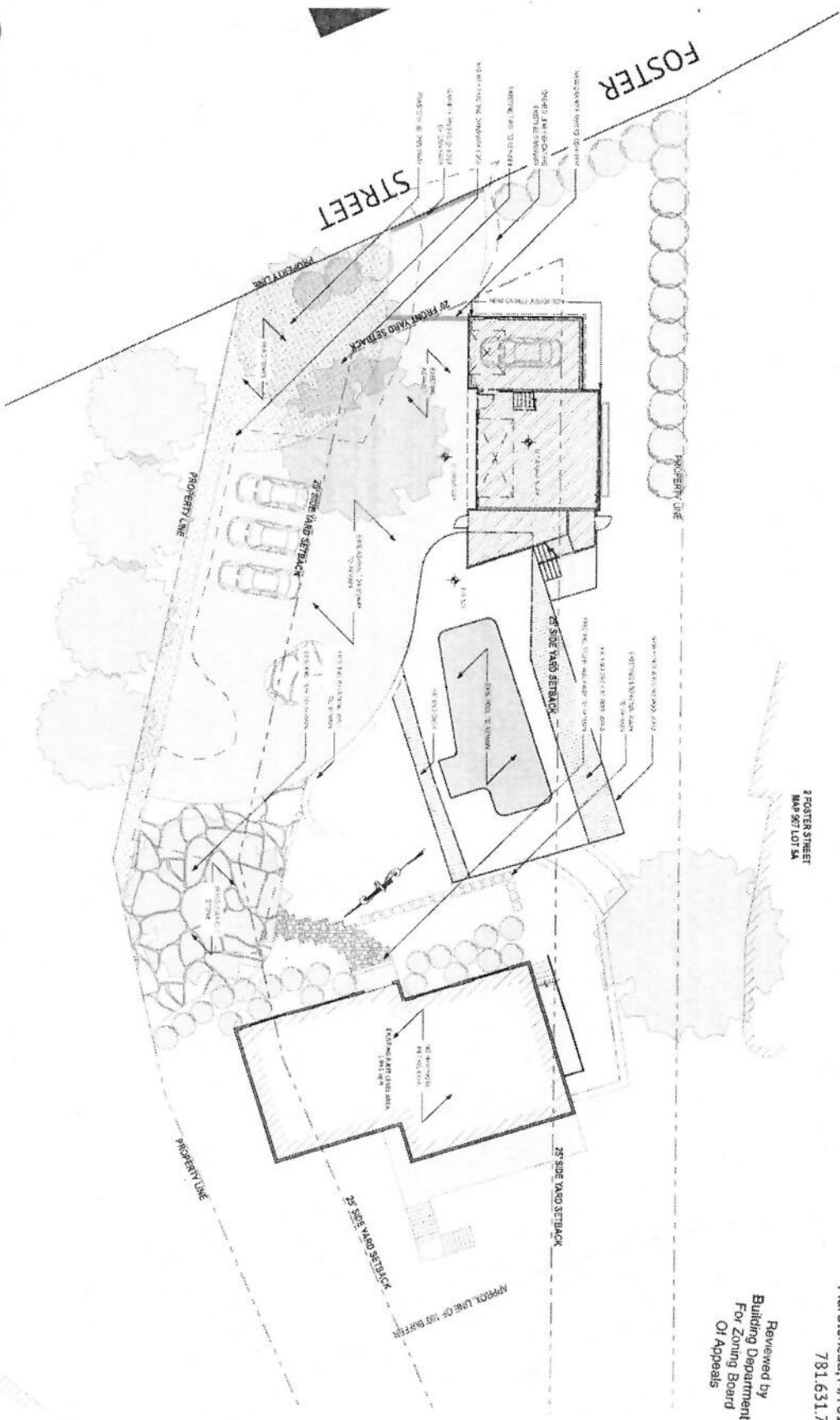
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Existing Conditions Photographs
10.27.20 Marblehead Zoning Board of Appeals



1
Site Level Plan
SCALE 1" = 20'



Garage/Pool House

Proposed Landscape Plan
10.27.20 Marblehead Zoning Board of Appeals

4 Foster Street, Marblehead, MA 01945

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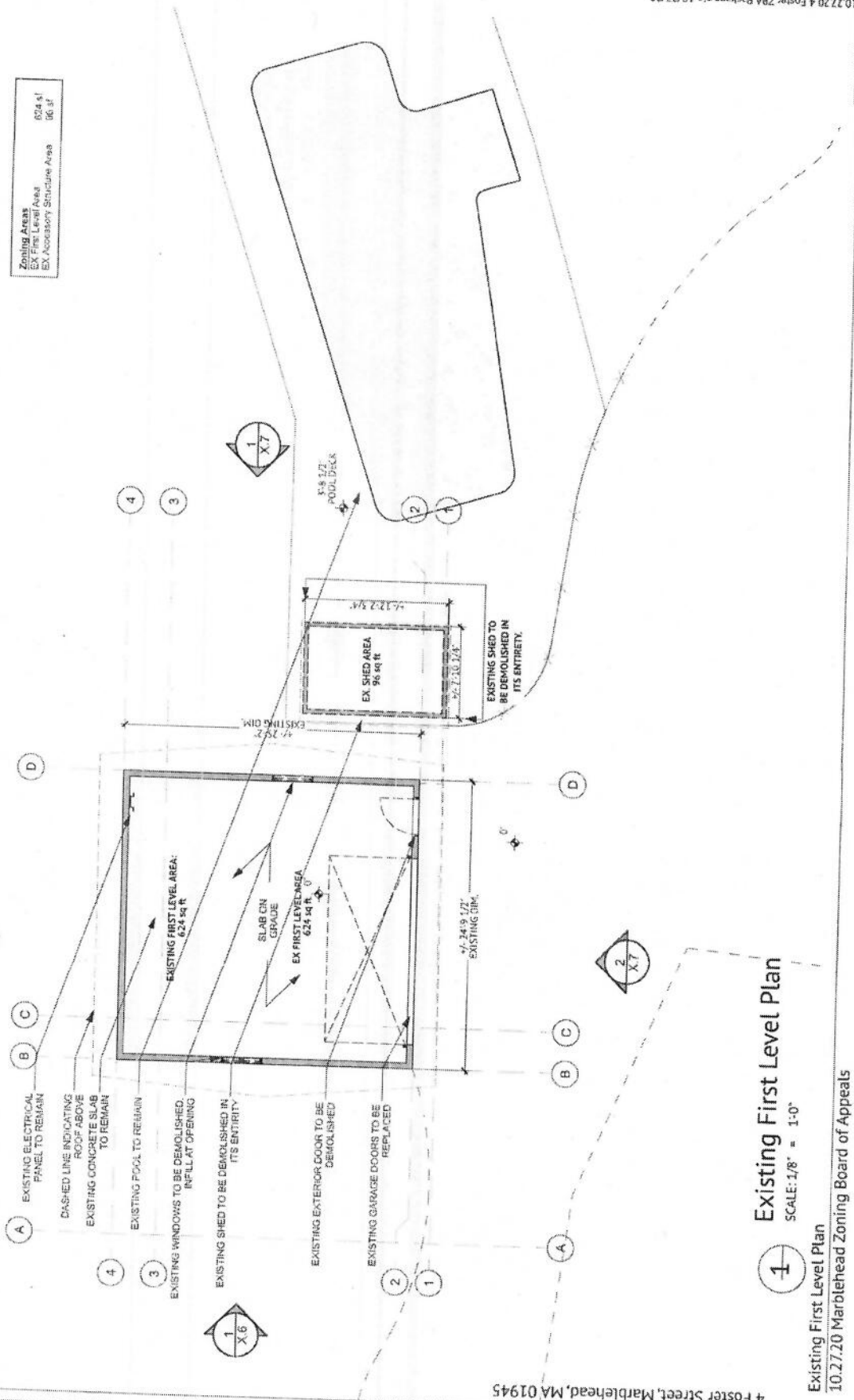
L.2

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X.2

Zoning Area	
EX First Level Area	624 sq ft
EX Accessory Structure Area	86 sq ft



1 Existing First Level Plan
 SCALE: 1/8" = 1'-0"

Existing First Level Plan

10.27.20 Marblehead Zoning Board of Appeals

Garage/Pool House

4 Foster Street, Marblehead, MA 01945

1

Proposed First Level Plan

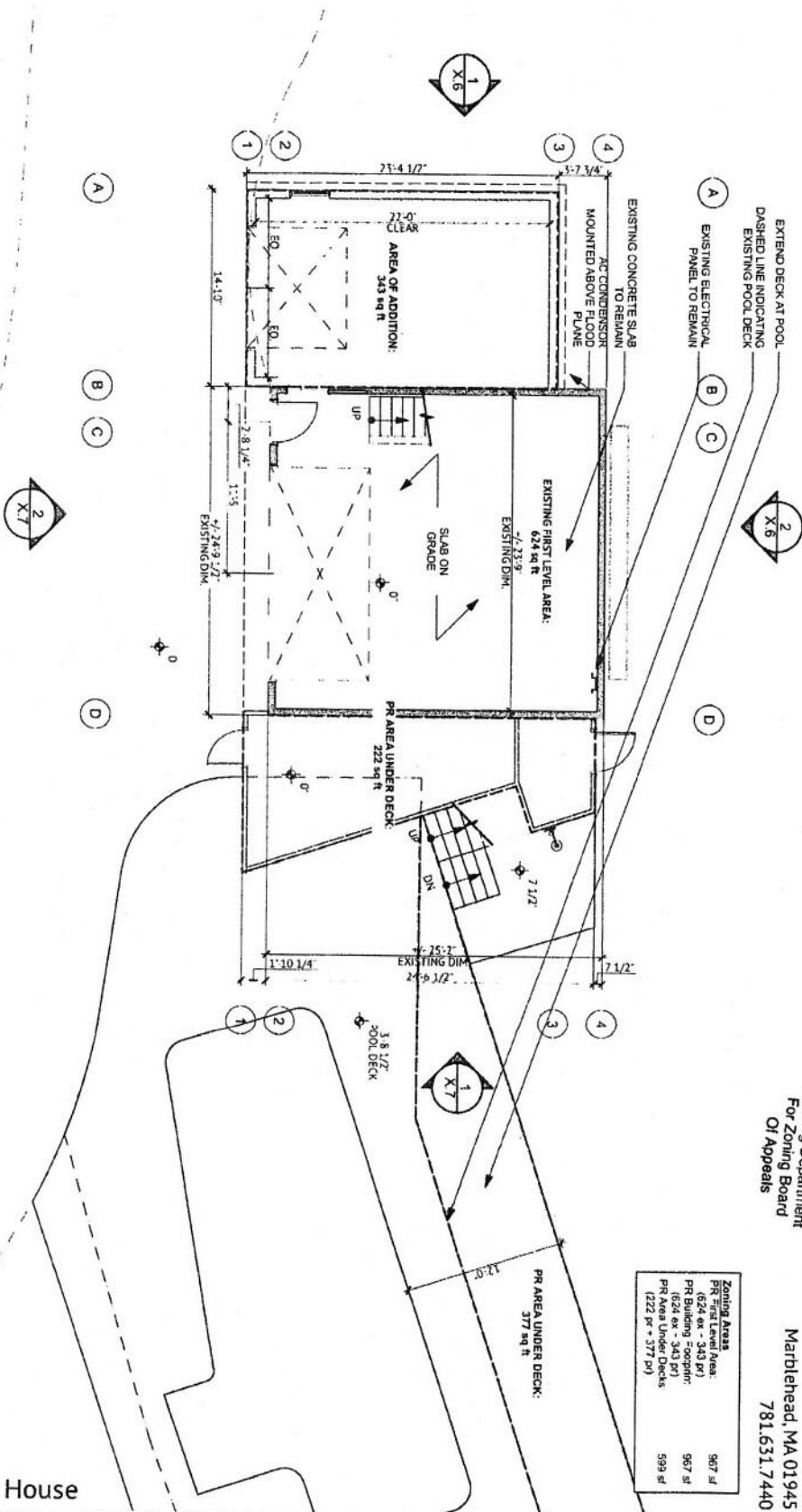
SCALE: 1/8" = 1'-0"

10.27.20 Marblehead Zoning Board of Appeals

Proposed First Level Plan

Garage/Pool House

4 Foster Street, Marblehead, MA 01945



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Zoning Area	
PR Area Under Deck	567 sf
PR Building - 2000 sq ft	567 sf
PR Building - 2000 sq ft	567 sf
PR Area Under Deck	599 sf
(222 sq ft + 377 sq ft)	

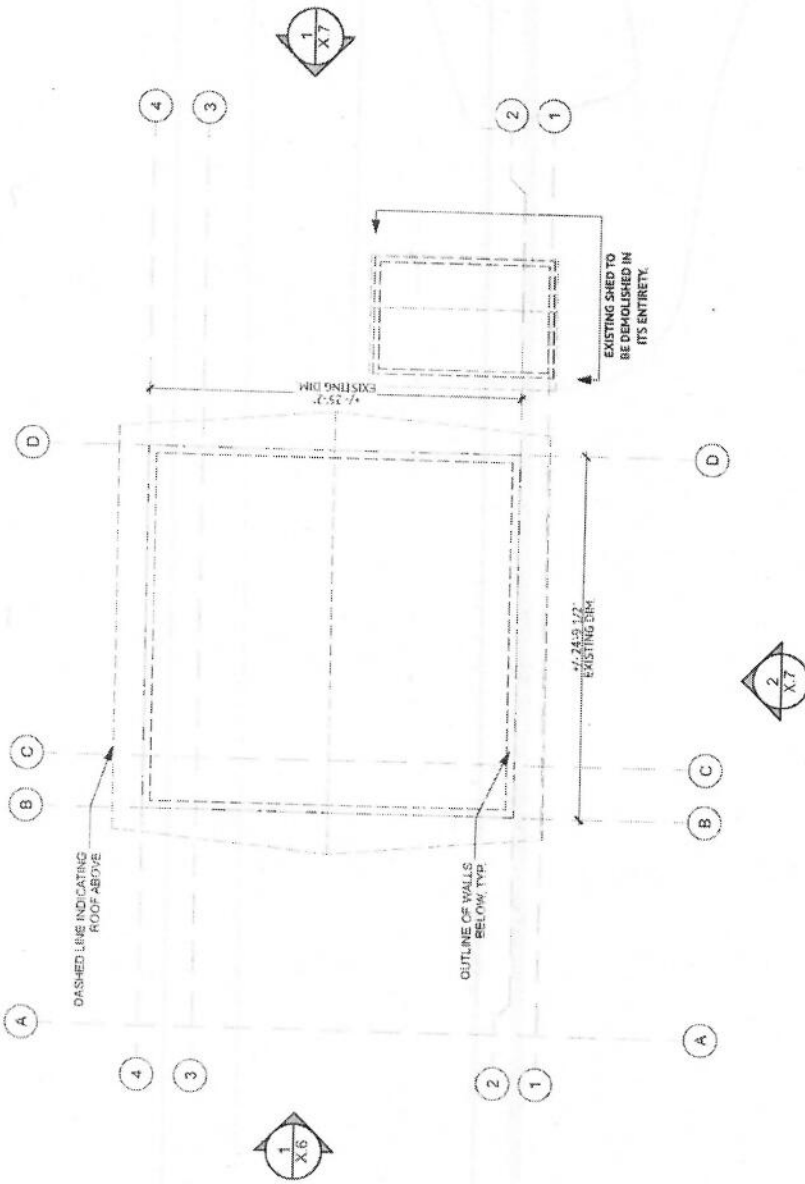
A.2

X.3

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Zoning Area
EN Second Level Area: 8 sf

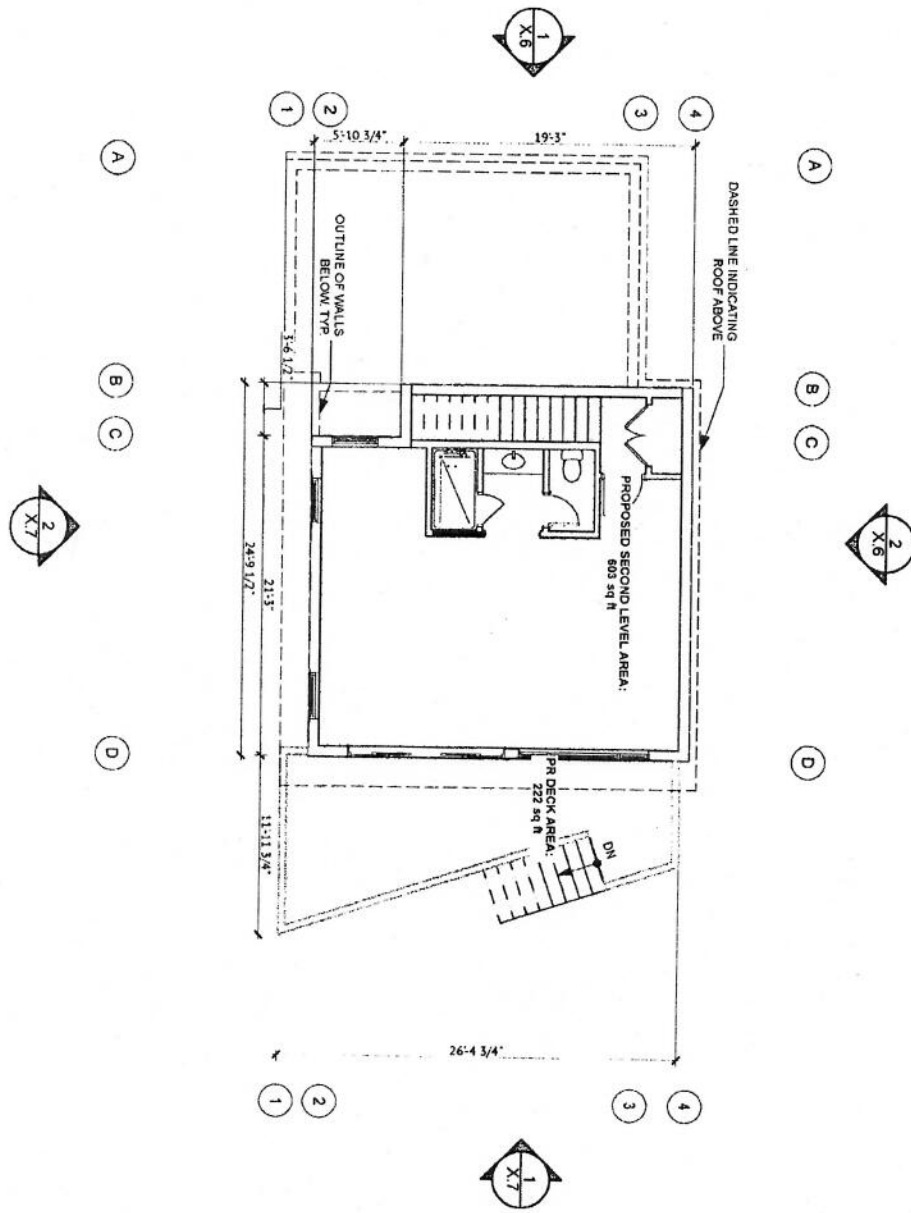


1 Second Level Plan
SCALE: 1/8" = 1'-0"

Existing Second Level Plan
10.27.20 Marblehead Zoning Board of Appeals

Garage/Pool House
4 Foster Street, Marblehead, MA 01945

Proposed Second Level Plan
SCALE: 1/8" = 1'-0"



Zoning Areas	
PR Second Level Area:	603 sf
PR Building Footprint	603 sf
PR Deck Area:	222 sf

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Proposed Second Level Plan
10.27.20 Marblehead Zoning Board of Appeals

X.3

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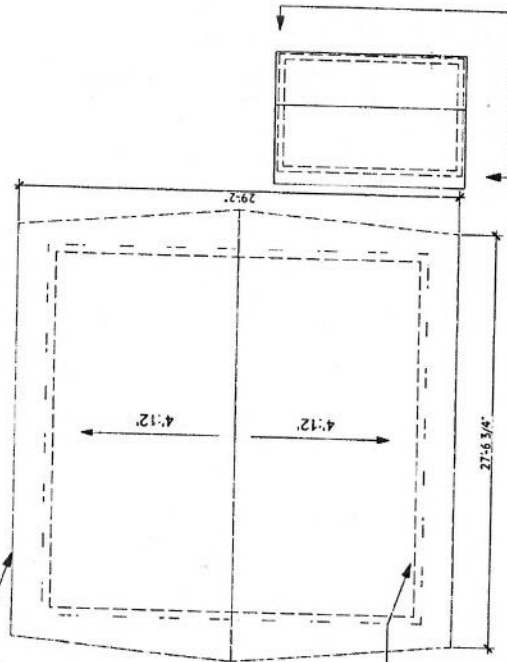


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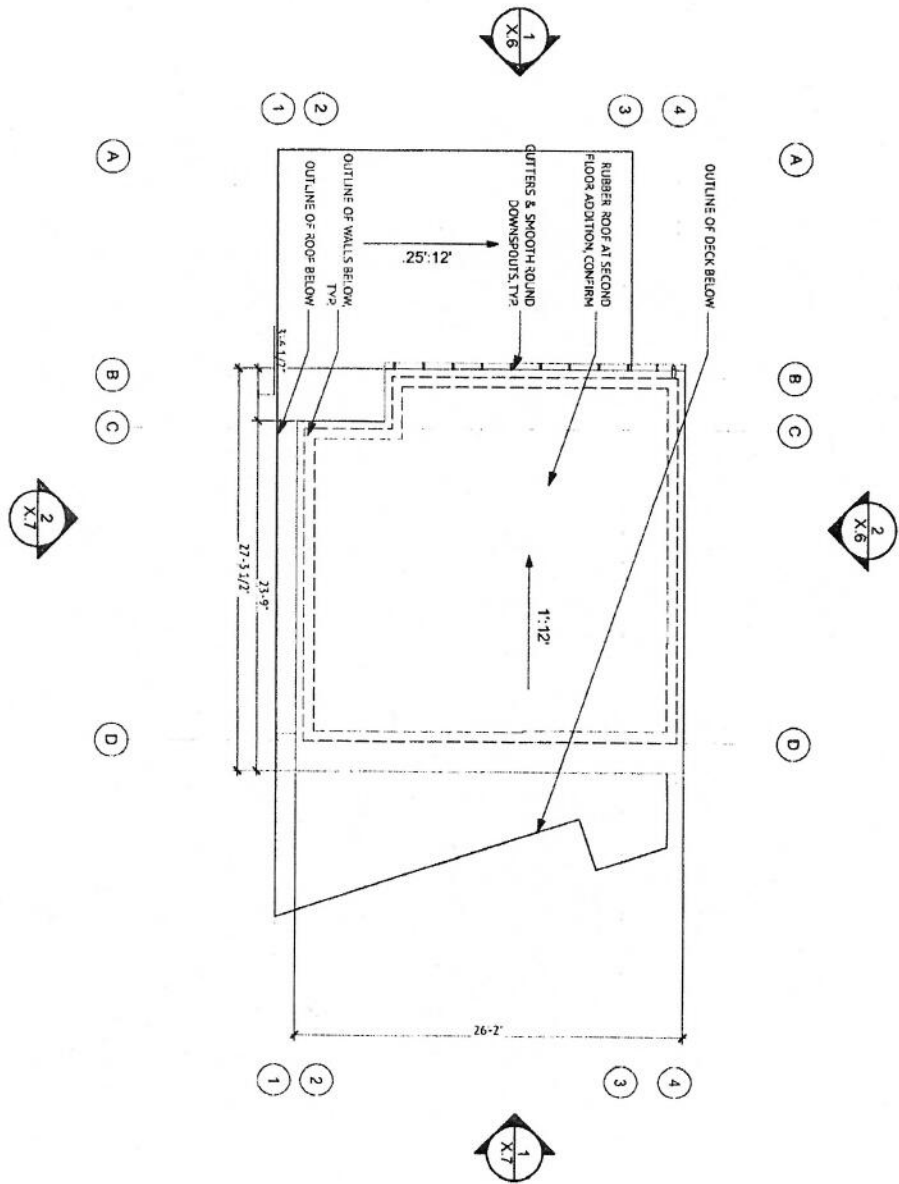
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2

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1 Proposed Roof Level Plan
SCALE: 1/8" = 1'-0"



Garage/Pool House

4 Foster Street, Marblehead, MA 01945

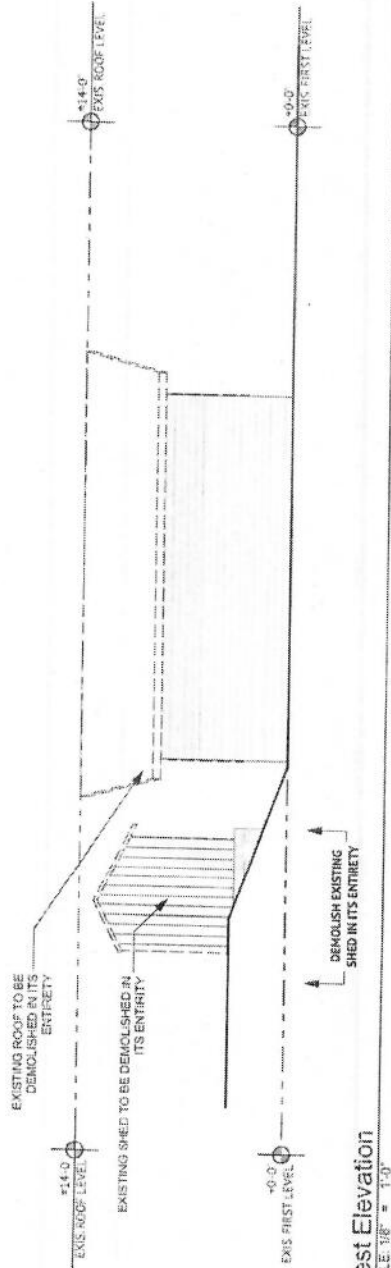
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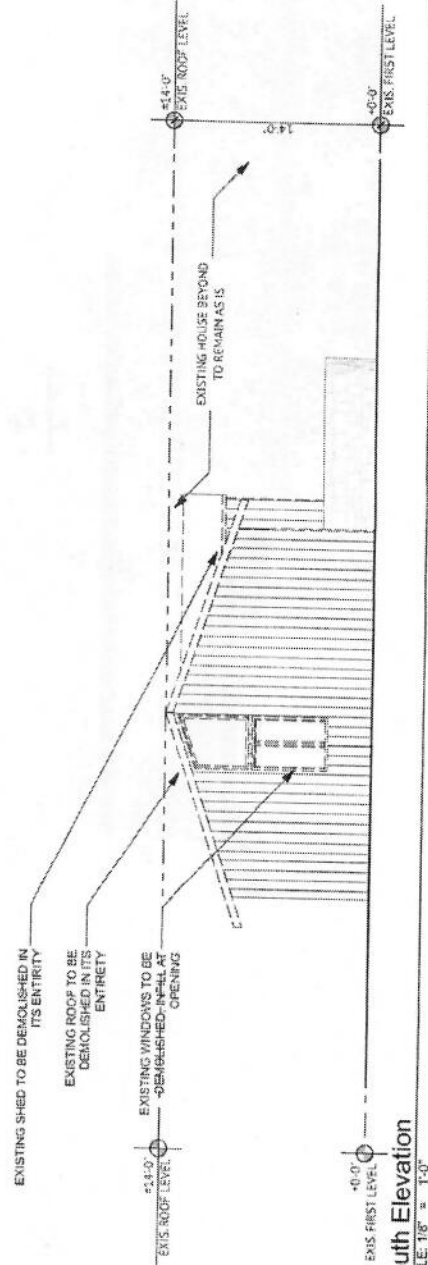
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2 West Elevation
SCALE: 1/8" = 1'-0"



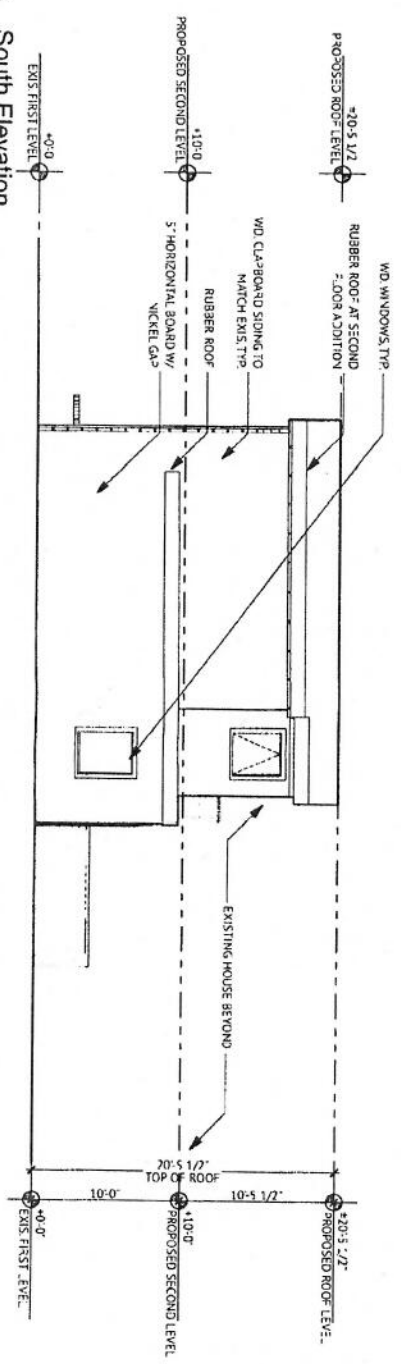
1 South Elevation
SCALE: 1/8" = 1'-0"

Garage/Pool House
4 Foster Street, Marblehead, MA 01945

Existing Elevations
10.27.20 Marblehead Zoning Board of Appeals

1

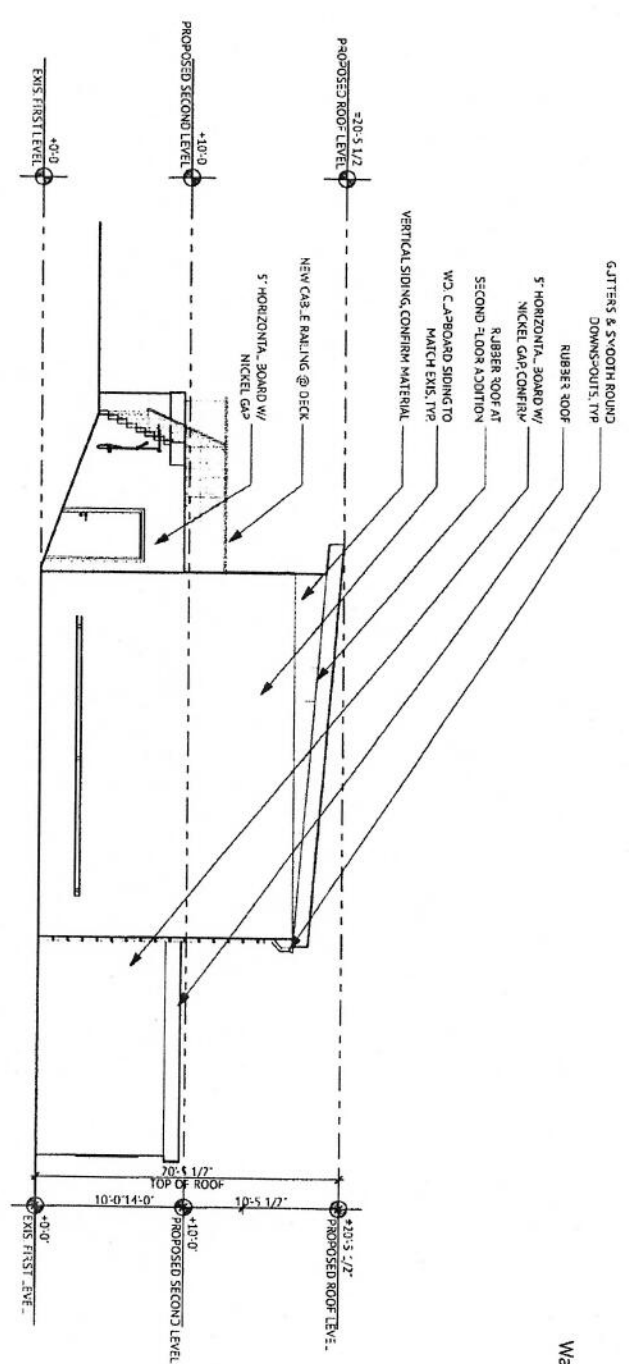
South Elevation
SCALE 1/8" = 1'-0"



Garage/Pool House

2

West Elevation
SCALE 1/8" = 1'-0"



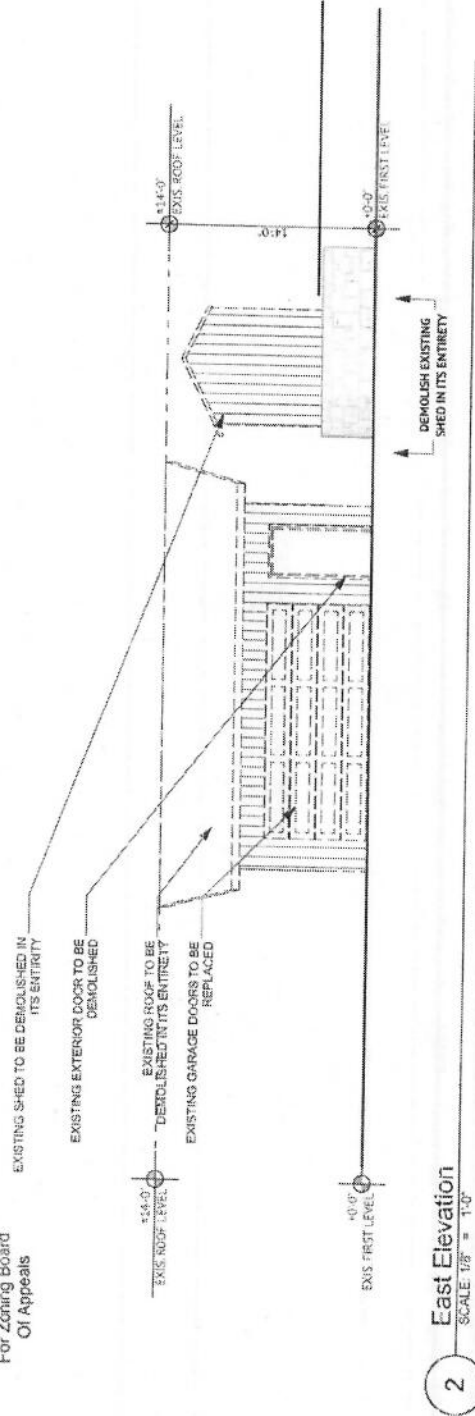
Proposed Elevations
10.27.20 Marblehead Zoning Board of Appeals

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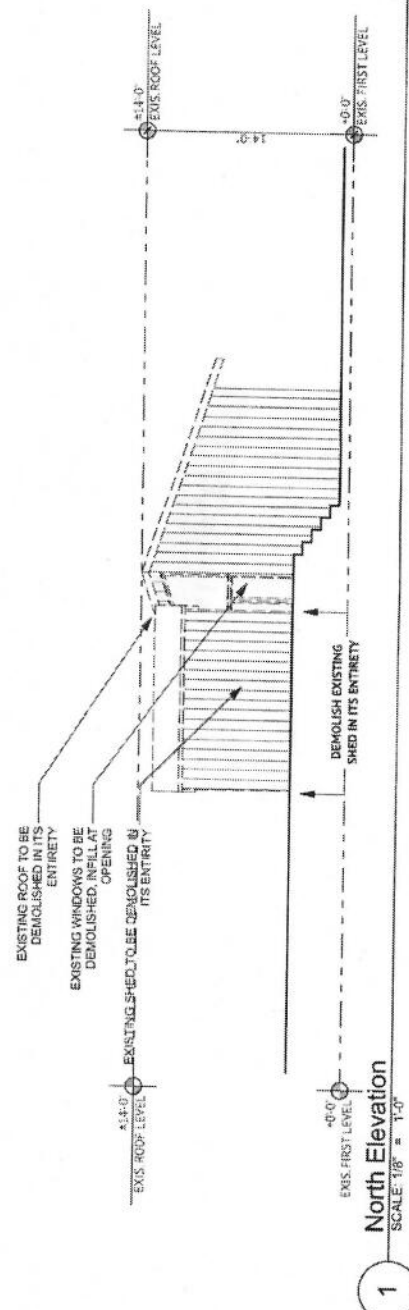
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2 East Elevation
SCALE: 1/8" = 1'-0"



1 North Elevation
SCALE: 1/8" = 1'-0"

4 Foster Street, Marblehead, MA 01945

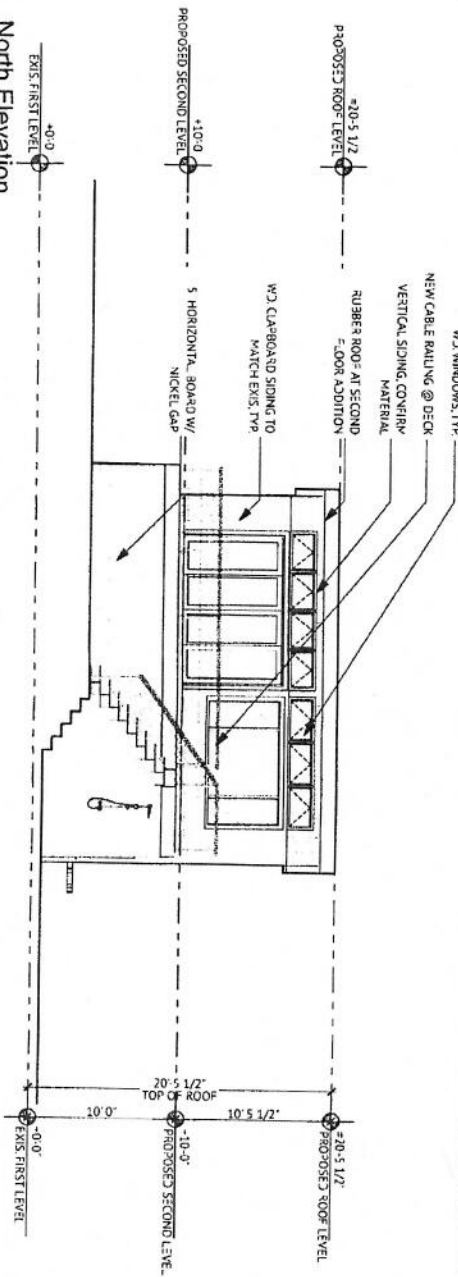
Garage/Pool House

Existing Elevations
10.27.20 Marblehead Zoning Board of Appeals

1

North Elevation

SCALE: 1/8" = 1'-0"

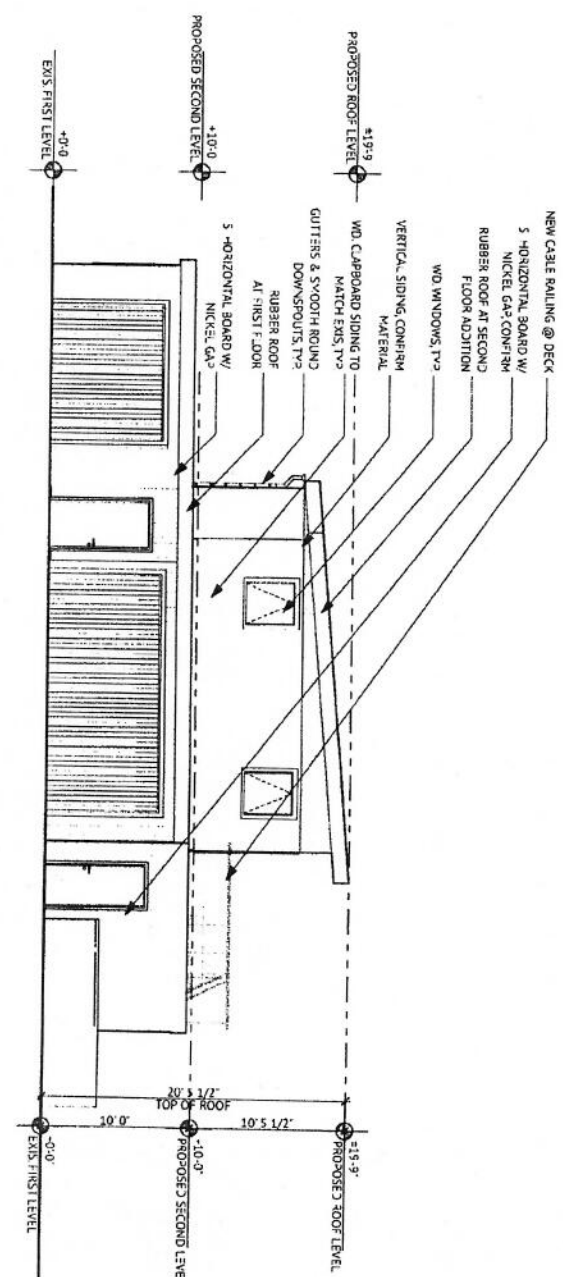


Garage/Pool House

2

East Elevation

SCALE: 1/8" = 1'-0"



Proposed Elevations
10.27.20 Marblehead Zoning Board of Appeals

4 Foster Street, Marblehead, MA 01945

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A.7

