



TOWN SEAL  
tel: 781-631-1529

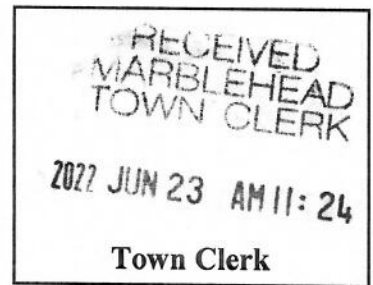
fax: 781-631-2617  
Revision Date: 12-02-20

# Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building  
7 Widger Road, Marblehead, MA 01945

## **ZBA APPLICATION**

PAGE 1 of 3



Project Address 32 Flint Street

Assessor Map(s) 903 Parcel Number(s) 4

### **OWNER INFORMATION**

Signature \_\_\_\_\_ date \_\_\_\_\_

Name (printed) Roy and Sharon Steinman

Address 32 Flint Street, Marblehead, MA 01945

Phone Numbers: home 781-608-9443 work \_\_\_\_\_

E-mail sharrahdesigns@verizon.net fax \_\_\_\_\_

### **APPLICANT or REPRESENTATIVE INFORMATION** (if different from owner)

Signature [Signature] date 6/22/22

Name (printed) Roy and Sharon Steinman

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home \_\_\_\_\_ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax \_\_\_\_\_

### **PROJECT DESCRIPTION & RELIEF REQUESTED** (attach additional page if necessary)

Special Permit to construct an addition to an existing single family dwelling

on a lot with less than the required lot area, lot width and side yard setbacks.

Located in in the Expanded Single Residence District.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
  - the signed and stamped application (3 pages);
  - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
  - the project design plans as required;
  - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

### **REQUIRED SIGNATURES**

1. Building Commissioner (pages 1, 2 and 3) [Signature] 6-22-22

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: [www.marblehead.org/](http://www.marblehead.org/)

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

**Town of Marblehead**  
**ZBA-APPLICATION**

Page 2 of 3

Revision Date: 12-02-2020

Project Address 32 Flint Street

Map(s) / Parcel(s) 903/4

**ZONING DISTRICT** (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR **ESR** SESR HBR U SU

**CURRENT USE** (explain) Single Family Dwelling

**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)

Yes ☒ No ☐ (explain) \_\_\_\_\_

**PROPOSED CHANGE OF USE**

No ☒ Yes ☐ (explain) \_\_\_\_\_

**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes ☐ No ☒

**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
- ☒ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Other Non-conformities (explain) \_\_\_\_\_
- ☐ No Existing Dimensional Non-conformities

**NEW DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- ☐ Other Non-conformities (explain) \_\_\_\_\_
- ☐ No New Dimensional Non-conformities

**ADDITIONAL HEARINGS REQUIRED**

Conservation Commission	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Historic District Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

**DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS** (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) \_\_\_\_\_

Building Official \_\_\_\_\_

Date 6-22-22

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

**Town of Marblehead**  
**ZBA-APPLICATION**  
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 32 Flint Street

Map(s) / Parcel(s) 903/4

**NET OPEN AREA (NOA)**

	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
Lot area = A	9,491	9,491
Area of features		
footprint of accessory building(s)	0	0
footprint of building	2472	2600
footprint of deck(s), porch(es), step(s), bulkhead(s)	65	65
number of required parking spaces <u>2</u> x (9'x 18' per space)	324	324
area of pond(s), or tidal area(s) below MHW	0	0
other areas (explain) _____	0	0
Sum of features = B	2861	2989
Net Open Area (NOA) = (A - B)	6,630	6,502

**GROSS FLOOR AREA (GFA)**

accessory structure(s)	0	0
basement or cellar (area >5' in height)	1884	1884
1st floor (12' or less in height) <u>NOTE:</u> [for heights exceeding	2472	2472
2nd floor (12' or less in height) 12' see definition	1502	1502
3rd floor (12' or less in height) of STORY §200-7]	0	0
4th floor (12' or less in height)	0	0
attic (area >5' in height)	0	0
area under deck (if >5' in height)	0	0
roofed porch(es)	65	65
Gross Floor Area (GFA) = sum of the above areas	5923	6051

**Proposed total change in GFA** = (proposed GFA - existing GFA) = 128

**Percent change in GFA** = (proposed total change in GFA ÷ existing GFA) x 100 = 2.16 %

**Existing Open Area Ratio** = (existing NOA ÷ existing GFA) = 1: 1.12

**Proposed Open Area Ratio** = (proposed NOA ÷ proposed GFA) = 1: 1.07

This worksheet applies 1. plan by/dated Tucker Architecture & Landscape 6/17/2022

to the following plan(s): 2. plan by/dated North Shore Survey / 06/17/2022

3. plan by/dated \_\_\_\_\_

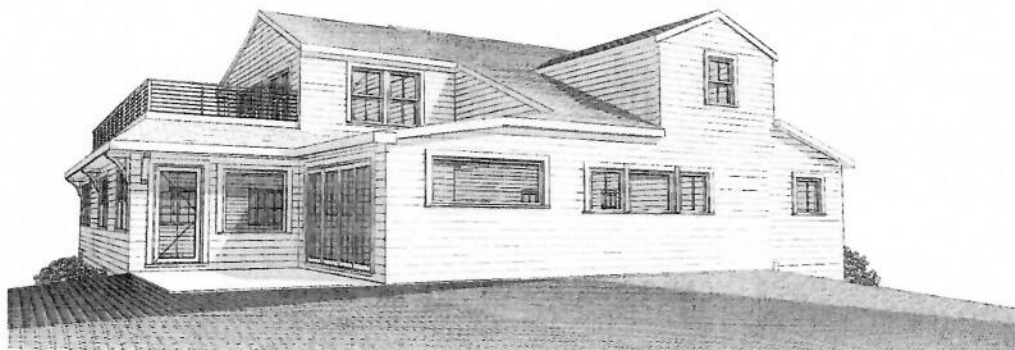
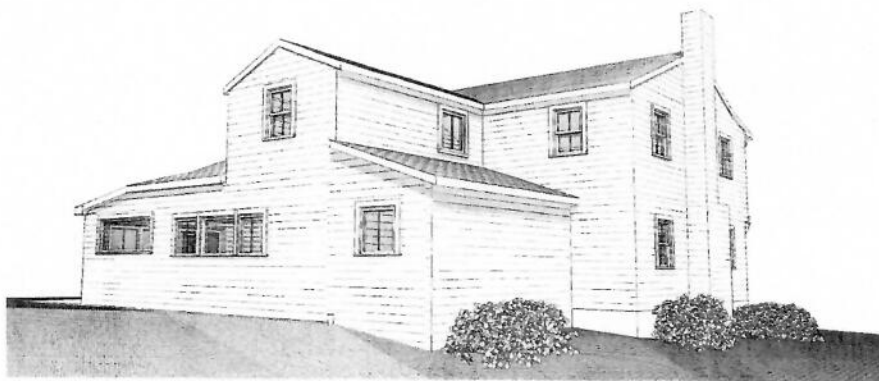
Building Official \_\_\_\_\_

Date 6-22-22


Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

	REQUIRED	EXISTING	PROPOSED
LOT AREA	35000	9491±	9491±
FRONTAGE	100	101.96'	101.96'
FRONT	20	25.6'	20.4'
SIDE	15	9.9'	8'±
REAR	15	39.8'	36'±
BLDG HEIGHT	35	29.7'±	30'±





DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



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Drawing Index:	
CVR	Rendering
x1	Existing Basement Floor Plan
a1	Approved Basement Floor Plan
1	Proposed Basement Floor Plan
x2	Existing First Floor Plan
a2	Approved First Floor Plan
2	Proposed First Floor Plan
x3	Existing Second Floor Plan
a3	Approved Second Floor Plan
3	Proposed Second Floor Plan
x4	Existing Roof Plan
a4	Approved Roof Plan
4	Proposed Roof Plan
x5	Existing Building Elevations
a5	Approved Building Elevations
5	Proposed Building Elevations
x6	Existing Building Elevations
a6	Approved Building Elevations
6	Proposed Building Elevations

REVISION DATE:  
2022 06 17 ZBA Set

**NOT FOR CONSTRUCTION**

Steinman Residence  
32 Flint Street  
Marblehead, MA

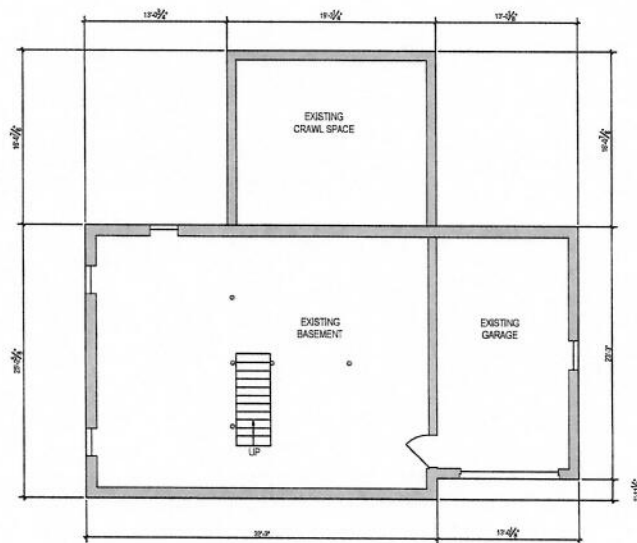
Cover

NOTE: ORIGINAL DRAWING SET TO BE ON FULL SCALE






SCALE: 1" = 16'-0"

DATE: 06/17/2022

BY: CVR



**PLAN WALL LEGEND**


-  Proposed Stud Walls
-  Existing Walls to Remain
-  Existing Walls to be Removed
-  Proposed Concrete Walls
-  Points of Egress to Exterior

REVISION DATE:  
2022 06 17 2BA Set

**NOT FOR CONSTRUCTION**






Steinman Residence  
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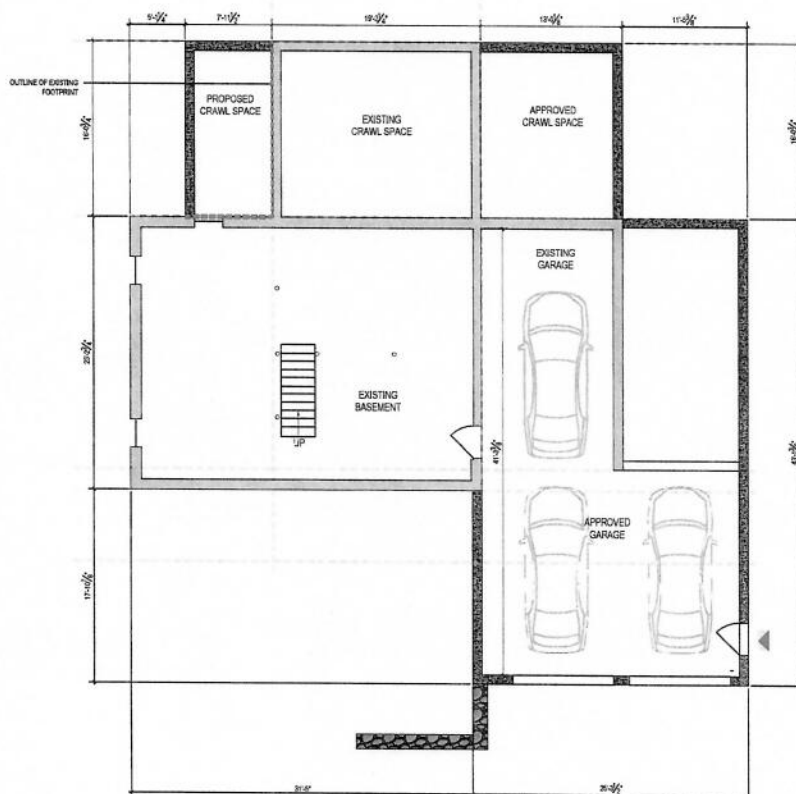
Existing Basement Floor Plan

NOTE: ORIGINAL DRAWING SET TO ARCHITECTURAL SCALE  

 PAGE NO. **X1**




DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

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<div style="border: 1px solid black; height: 400px; width: 100%;"></div>									
<p><b>PLAN WALL LEGEND</b></p> <table border="0"> <tr> <td></td> <td>Proposed Stud Walls</td> </tr> <tr> <td></td> <td>Existing Walls to Remain</td> </tr> <tr> <td></td> <td>Existing Walls to be Removed</td> </tr> <tr> <td></td> <td>Proposed Concrete Walls</td> </tr> </table> <p> Points of Egress to Exterior</p>			Proposed Stud Walls		Existing Walls to Remain		Existing Walls to be Removed		Proposed Concrete Walls
	Proposed Stud Walls								
	Existing Walls to Remain								
	Existing Walls to be Removed								
	Proposed Concrete Walls								
<p>REVISION DATE: 2022-06-17 ZBA Set</p>									
<p><b>NOT FOR CONSTRUCTION</b></p>									
<p style="text-align: center;"> <b>Steinman Residence</b>  <b>32 Flint Street</b>  <b>Marblehead, MA</b>  <b>Approved Basement</b>  <b>Floor Plan</b> </p>									
		PAGE NO. at							



① Basement Floor Plan  
Scale: 1/8" = 1'-0"

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**PLAN WALL LEGEND**

- Proposed Solid Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE:  
2022 06 17 ZBA Set

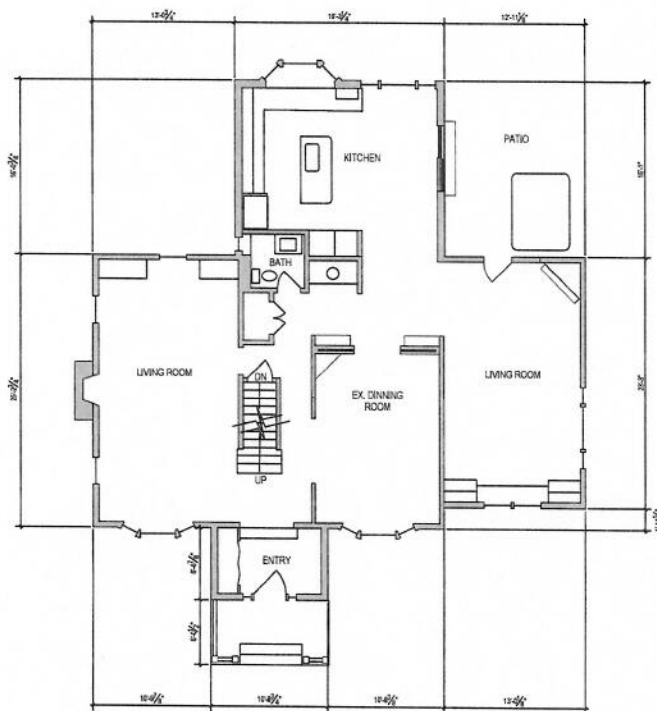
**NOT FOR CONSTRUCTION**

Steinman Residence  
32 Flint Street  
Marblehead, MA  
Proposed Basement  
Floor Plan

NOTE: ORIGINAL DRAWING SET TO REMAIN FULL SCALE


PAGE NO.  
**1**





① First Floor Plan  
Scale: 1/8" = 1'-0"

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**PLAN WALL LEGEND**

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

FINISHED DATE:  
2022 05 17 ZBA Set

**NOT FOR CONSTRUCTION**

Steinman Residence  
32 Flint Street  
Marblehead, MA

**Existing First Floor Plan**

1/8" = 1'-0" GRAPHIC DRAWING SET TO DIMENSIONAL SCALE

PAGE NO.  
x2



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**PLAN WALL LEGEND**

	Proposed Bio Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls

 Points of Egress to Exterior


REVISION DATE:  
 2022 06 17 ZBA Set

NOT FOR CONSTRUCTION

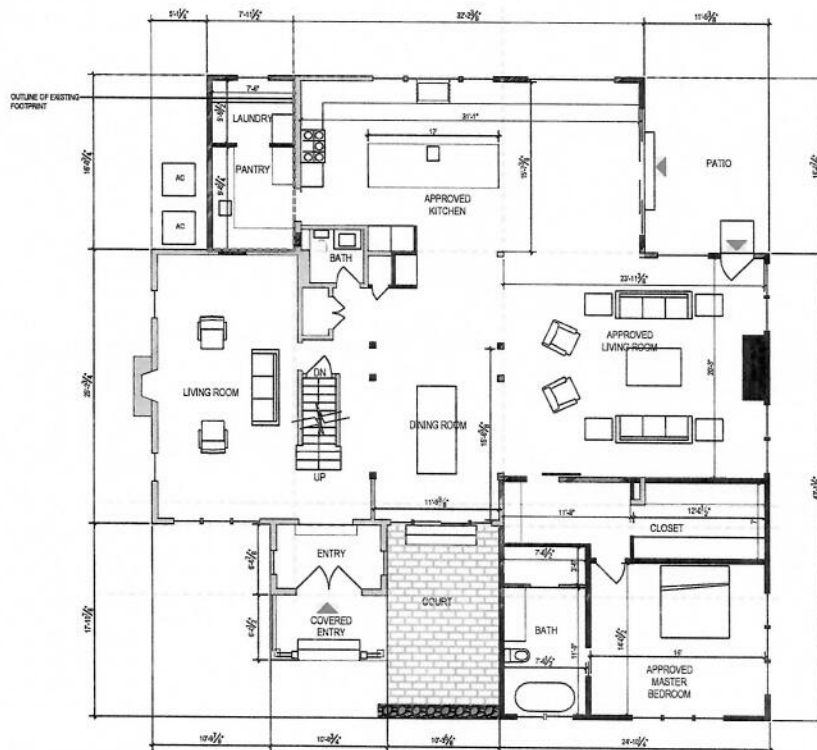
Stairman Residence  
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**Approved First Floor Plan**

NOTE: ORIGINAL DIMENSIONS SET TO DIM FLOOR TUCKER



PAGE NO. **a2**



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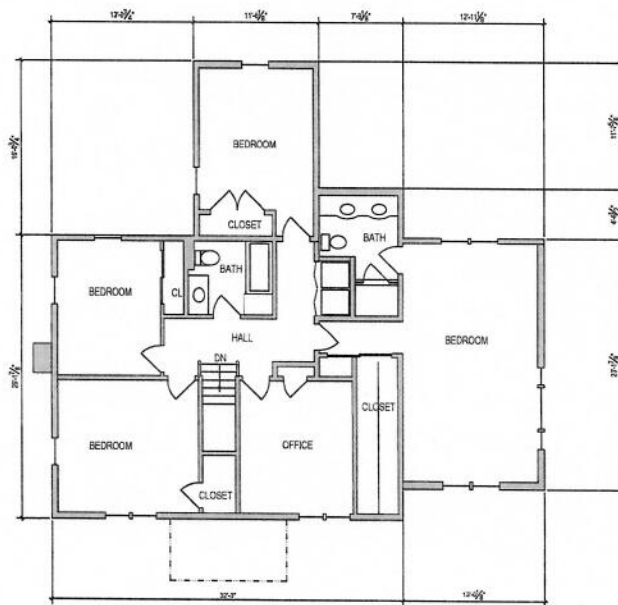
**PLAN WALL LEGEND**  
 — Proposed Stud Walls  
 — Existing Walls to Remain  
 - - - Existing Walls to be Removed  
 ■ Proposed Concrete Walls  
 ▲ Points of Egress to Exterior

PROVISION DATE:  
 2022 06 17 ZBA Set

**NOT FOR CONSTRUCTION**


Steinman Residence  
 32 Flint Street  
 Marblehead, MA  
**Proposed First Floor Plan**

NOTE: DIMENSIONS SHOWN ARE SET TO MATCH FULL SCALE. PAGE NO. **2**



① Second Floor Plan  
Scale: 1/8"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



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**PLAN WALL LEGEND**

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE:  
2022 06 17 ZBA Set


**NOT FOR CONSTRUCTION**

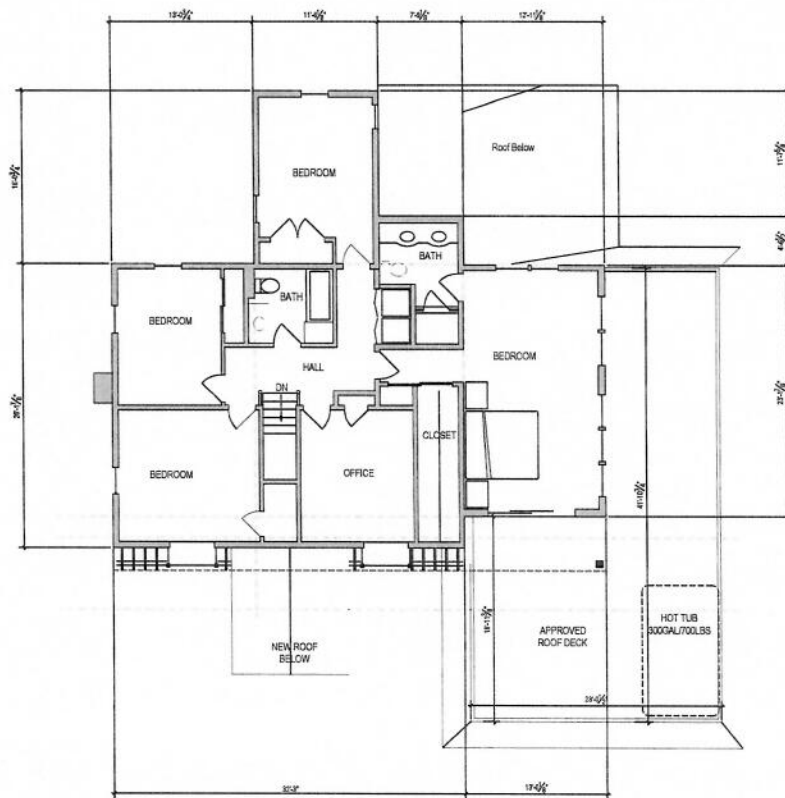
Steinman Residence  
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Marblehead, MA

**Existing Second Floor Plan**

NOTE: GRAPHIC DIMENSIONS SET TO 250MM FULL SCALE


PAGE NO.

 **x3**



① Second Floor Plan  
Date: 10/1/10

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

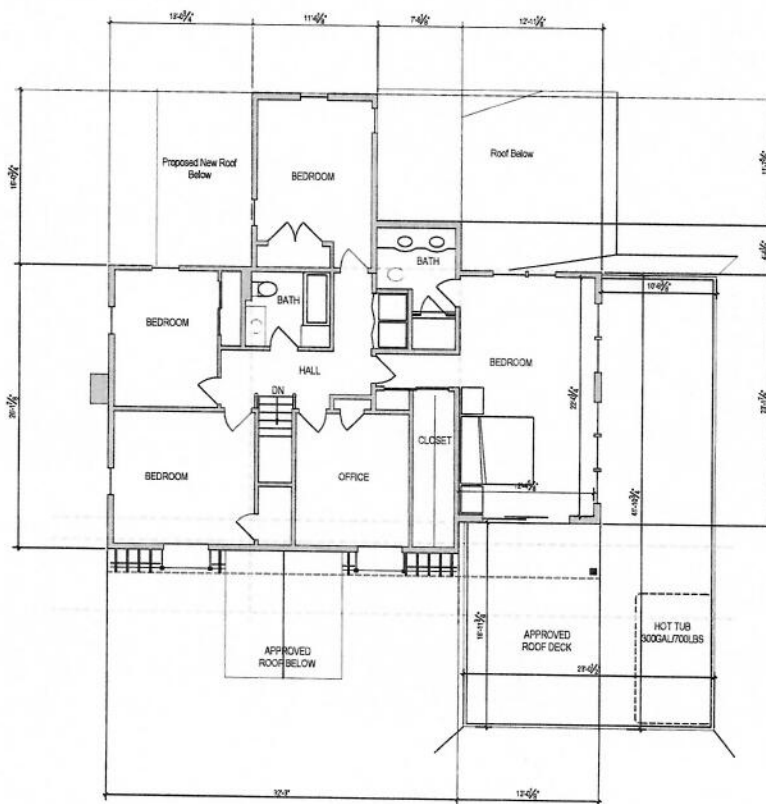
  
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**PLAN WALL LEGEND**  
 Proposed Stud Walls  
 Existing Walls to Remain  
 Existing Walls to be Removed  
 Proposed Concrete Walls  
 Points of Egress to Exterior

PREPARED DATE:  
 2/22/06 17 ZBA Set


**NOT FOR CONSTRUCTION**  
 Steinman Residence  
 32 Flint Street  
 Marblehead, MA  
 Approved Second Floor Plan

SCALE: 1/8" = 1'-0" (ORIGINALLY 1/4" = 1'-0")  
 PAGE NO.  
 a3







1 Second Floor Plan  
Scale: 1/8" = 1'-0"

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**PLAN WALL LEGEND**

	Proposed Shut Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls
	Points of Egress to Exterior


REVISION DATE:  
 2022 06 17 ZDA Set

**NOT FOR CONSTRUCTION**



Steinman Residence  
 32 Flint Street  
 Marblehead, MA

Proposed Second Floor Plan


NOTE: ORIGINAL DRAWING SET TO SHOW FULL SCALE

	<p>PAGE NO. <b>3</b></p>
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<p style="margin-top: 10px;"><b>PLAN WALL LEGEND</b></p> <ul style="list-style-type: none"> <li> Proposed Stud Walls</li> <li> Existing Walls to Remain</li> <li> Existing Walls to be Removed</li> <li> Proposed Concrete Walls</li> <li> Points of Egress to Exterior</li> </ul>		
<small>PROVISION DATE:</small> 2022 06 17 ZBA Set		
<h2 style="margin: 0;">NOT FOR CONSTRUCTION</h2>		
<p>Steinman Residence          32 Flint Street          Marblehead, MA</p> <h2 style="margin: 0;">Existing Roof Plan</h2>		
<small>NOTE: ORIGINAL DIMENSIONS SET TO MATCH FULL SCALE</small>		<small>PAGE NO.</small> <b>x4</b>





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**PLAN WALL LEGEND**

	Proposed Stud Walls
	Existing Walls to Remain
	Existing Walls to be Removed
	Proposed Concrete Walls
	Points of Egress to Exterior


PERMISSION DATE:  
 2022 06 17 ZSA Set

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Stierman Residence  
 32 Flint Street  
 Marblehead, MA

Approved Roof Plan

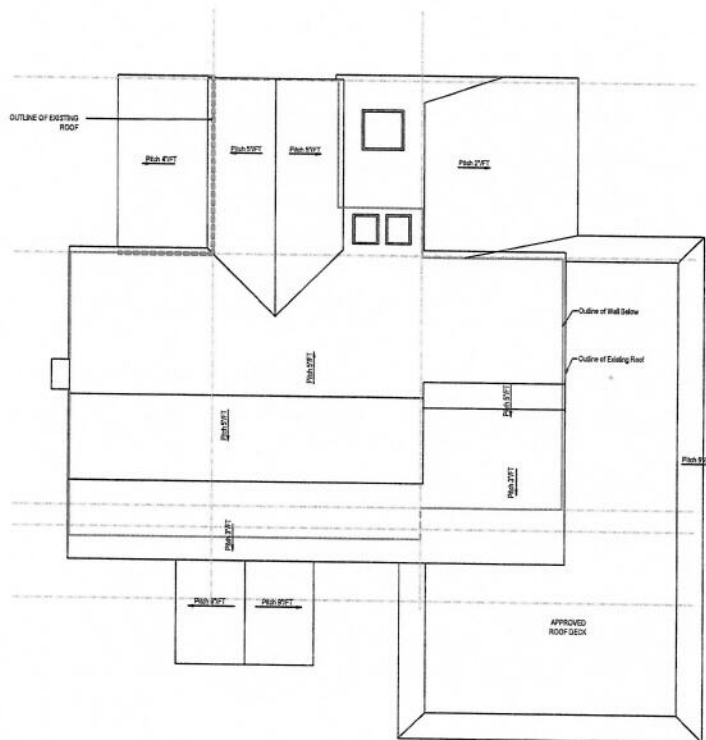
SCALE: 1/8" = 1'-0" (AS SHOWN ON SET) TO 3/4" = 1'-0" FULL SCALE



PAGE NO.

24







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**PLAN WALL LEGEND**

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE:  
 2022 06 17 ZBA Set

**NOT FOR CONSTRUCTION**

Steinman Residence  
 32 Flint Street  
 Marblehead, MA

**Proposed Roof Plan**

NOTE: ORIGINAL DRAWINGS SET TO ENGLISH SCALE

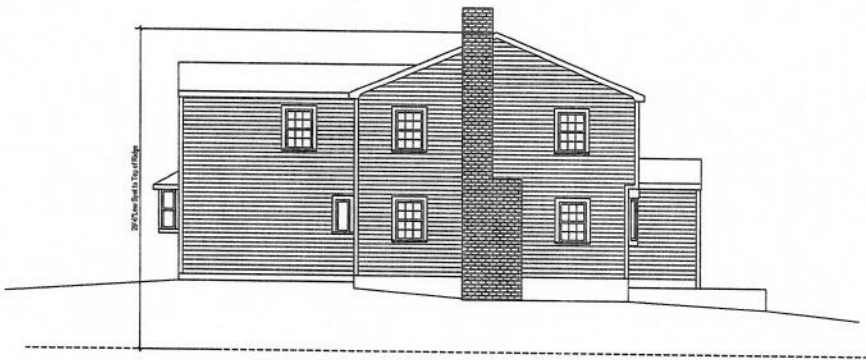
PAGE NO.



**4**

1. Roof Plan

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY




① West Elevation  
Scale: 1/8" = 1'-0"



② South Elevation  
Scale: 1/8" = 1'-0"

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POWDER DATE:  
2022 06 17 ZBA Set

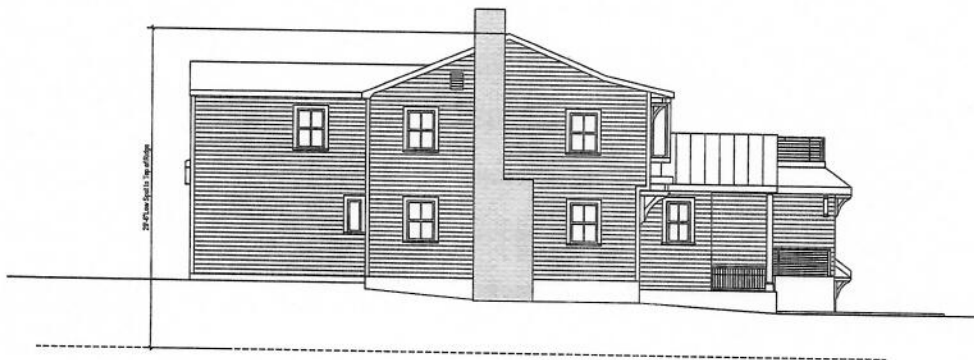
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Steinman Residence  
32 Flint Street  
Marblehead, MA

**Existing Building Elevations**

DATE: ORIGINAL (FORWARD SET) TO 2022 FULL SCALE

PAGE NO.  
**x5**



① West Elevation  
Scale 1/8"=1'-0"



② South Elevation  
Scale 1/8"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

  
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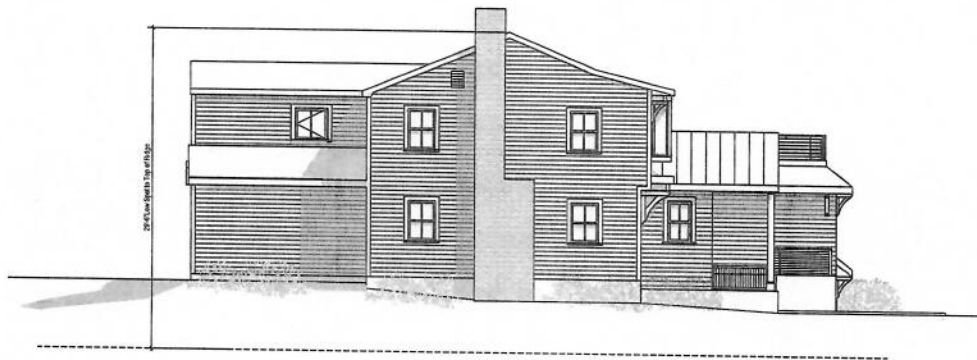
REVISION DATE:  
 2022 06 17 250A Set

**NOT FOR CONSTRUCTION**

Steinman Residence  
 32 Flint Street  
 Marblehead, MA

**Approved Building Elevations**

NOTE: ORIGINAL DRAWINGS SET TO 20% FULL SCALE  
 PAGE NO. **a5**



① West Elevation  
Scale: 1/8" = 1'-0"



② South Elevation  
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

  
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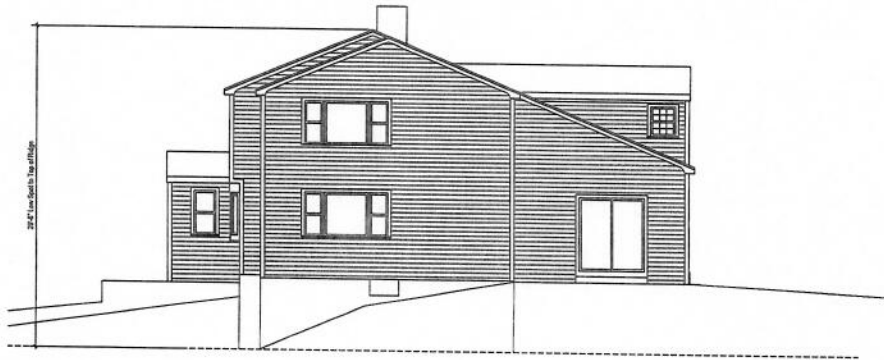
PERMISSION DATE:  
2022-06-10 ZBA Set

**NOT FOR CONSTRUCTION**

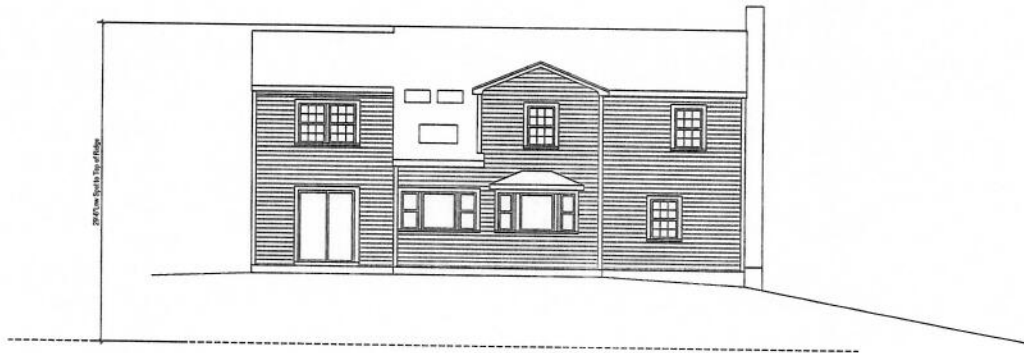
Steinman Residence  
32 Flint Street  
Marblehead, MA

**Proposed Building Elevations**

NOTE: DIMENSIONS SHOWN TO 1/8" UNLESS OTHERWISE NOTED  
PAGE NO. 5



① East Elevation  
Scale: 1/8"=1'-0"



② North Elevation  
Scale: 1/8"=1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

  
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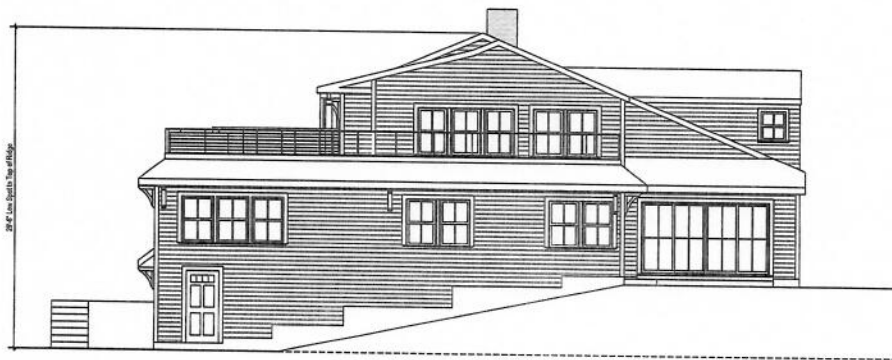
PROVISION DATE:  
2022 06 17 2BA Set

NOT FOR CONSTRUCTION

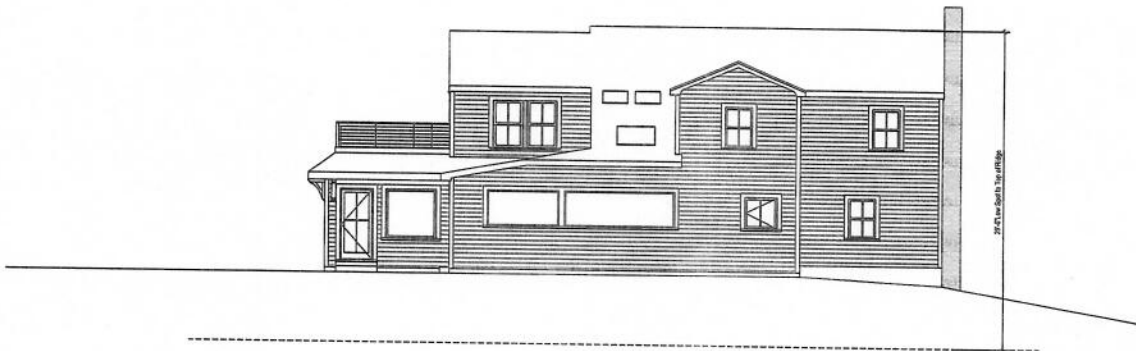
Sleinman Residence  
32 Flint Street  
Mattitohood, MA

Existing Building Elevations

NOTE: DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE  
PAGE NO. 6  
x6



① East Elevation  
Scale: 1/8"=1'-0"



② North Elevation  
Scale: 1/8"=1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



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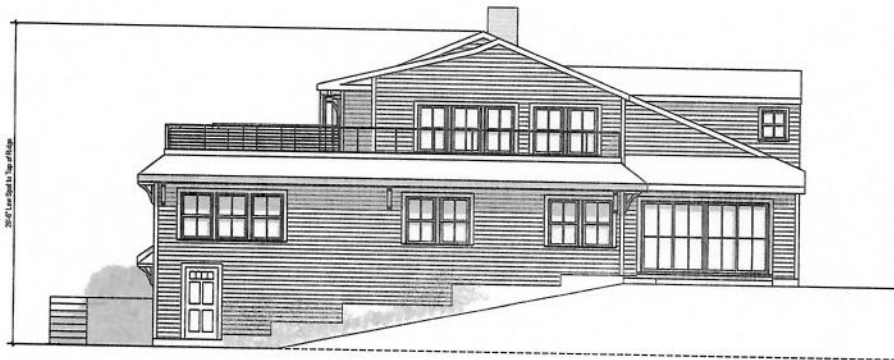
REVISIONS DATE:  
2022 06 17 ZBA Set

**NOT FOR CONSTRUCTION**

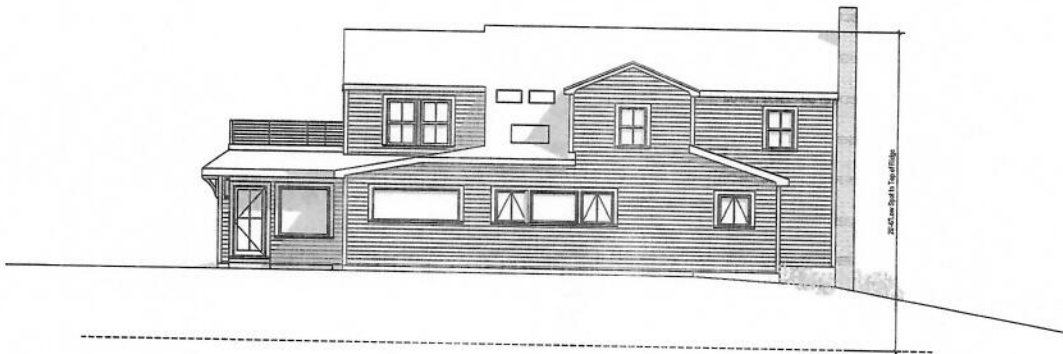
Steinman Residence  
32 Flint Street  
Marblehead, MA

**Approved Building Elevations**

NOTE: ORIGINAL DRAWING SET TO MATCH FULL SCALE | PAGE NO. | 26



① East Elevation  
Date: 10-17-22



② North Elevation  
Date: 10-17-22

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



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PROVISION DATE:  
2022 06 17 ZBA Set

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**Proposed Building Elevations**

NOTE: TRUNCAL DRAWING SET TO MATCH FULL SCALE

SCALE: 1/8" = 1'-0"

PAGE NO.  
**6**