



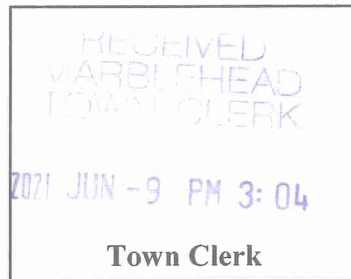
TOWN SEAL
tel: 781-631-1529
fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 289 OCEAN AVE MHD
Assessor Map(s) N-12 Parcel Number(s) 30

OWNER INFORMATION

Signature Howard Rich date _____
Name (printed) HOWARD AND SHARON RICH
Address 289 OCEAN AVE MHD
Phone Numbers: home 617.797.3345 work SAME
E-mail hrich13@me.com fax NA

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature Robert Zarelli date 6.9.2021
Name (printed) ROBERT ZARELLI ARCHITECT
Address 66 WASHINGTON ST. MHD
Phone Numbers: home 781.883.1033 work SAME
E-mail BOB@ROBERTZARELLIARCHITECT.COM fax NA

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

THE ADDITION OF A 12'-0" X 13'-6" BREAKFAST ROOM
AND DECK AT GRADE 12'-0" X 18'-0"
RELIEF FOR EAST SIDEYARD SETBACK REQUIRED

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3)

Reviewed by
Building Department
For Zoning Board
Of Appeals

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 289 OCEAN AVENUE Map(s) / Parcel(s) 912/31

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) SINGLE FAMILY RESIDENCE

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
☐ Lot Width - Less than required (§200-7)
☐ Frontage - Less than required (§200-7 and Table 2)
☒ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☒ Height - Exceeds maximum allowed (§200-7 and Table 2)
☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☐ Other Non-conformities (explain) _____
☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
☐ Lot Width - Less than required (§200-7)
☐ Frontage - Less than required (§200-7 and Table 2)
☐ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
☐ Other Non-conformities (explain) _____
☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission Yes ☒ No ☐
Historic District Commission Yes ☐ No ☒
Planning Board Yes ☐ No ☒

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DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) REFER TO GRAPHIC SCALE

Building Official [Signature] Date 6-9-2021

Project Address 289 OCEAN AVENUE Map(s) / Parcel(s) 912/31

<u>NET OPEN AREA (NOA)</u>	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	<u>24500</u>	<u>24500</u>
Area of features		
footprint of accessory building(s)	<u>0</u>	<u>0</u>
footprint of building	<u>2996</u>	<u>3122</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>120</u>	<u>336</u>
number of required parking spaces <u>2</u> x (9'x 18' per space)	<u>324</u>	<u>324</u>
area of pond(s), or tidal area(s) below MHW	<u>0</u>	<u>0</u>
other areas (explain) _____	<u>0</u>	<u>0</u>
Sum of features = B	<u>3440</u>	<u>3782</u>
Net Open Area (NOA) = (A - B)	<u>21060</u>	<u>20718</u>

<u>GROSS FLOOR AREA (GFA)</u>		
accessory structure(s)	<u>0</u>	<u>0</u>
basement or cellar (area >5' in height)	<u>2001</u>	<u>2001</u>
1st floor (12' or less in height) NOTE: [for heights exceeding	<u>2996</u>	<u>3122</u>
2nd floor (12' or less in height) 12' see definition	<u>1438</u>	<u>1438</u>
3rd floor (12' or less in height) of STORY §200-7]	<u>0</u>	<u>0</u>
4th floor (12' or less in height)	<u>0</u>	<u>0</u>
attic (area >5' in height)	<u>600</u>	<u>600</u>
area under deck (if >5' in height)	<u>0</u>	<u>0</u>
roofed porch(es)	<u>120</u>	<u>120</u>
Gross Floor Area (GFA) = sum of the above areas	<u>7155</u>	<u>7281</u>

<u>Proposed total change in GFA</u> = (proposed GFA - existing GFA)	=	<u>126</u>
<u>Percent change in GFA</u> = (proposed total change in GFA ÷ existing GFA) x 100	=	<u>1.68</u> %
<u>Existing Open Area Ratio</u> = (existing NOA ÷ existing GFA)	=	<u>2.94</u>
<u>Proposed Open Area Ratio</u> = (proposed NOA ÷ proposed GFA)	=	<u>2.85</u>

This worksheet applies 1. plan by/dated Nº SHORE SURVEY 6-2-2021
to the following plan(s): 2. plan by/dated RZA ARCHITECT 6-9-2021
3. plan by/dated _____
Building Official [Signature] Reviewed by _____
Building Department
For Zoning Board
Of Appeals Date 6-9-21

R Z A

ROBERT ZARELLI
ARCHITECT AIA, NCARB, BSA, ASID

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Building Department
For Zoning Board
Of Appeals

Rich Residence
Narrative

The applicant respectfully requests relief from the required 25' – 0 side yard setback to 12' – 0 .
Please note the proposed single story addition is located behind the existing garage structure. The
existing view corridor remains.

The proposed addition will provide in formal family dinning directly adjacent to the existing
kitchen .

The existing deck will be relocated down slope.
A notice of intent has been filed with Con Com.

Thank you for your attention to our request.

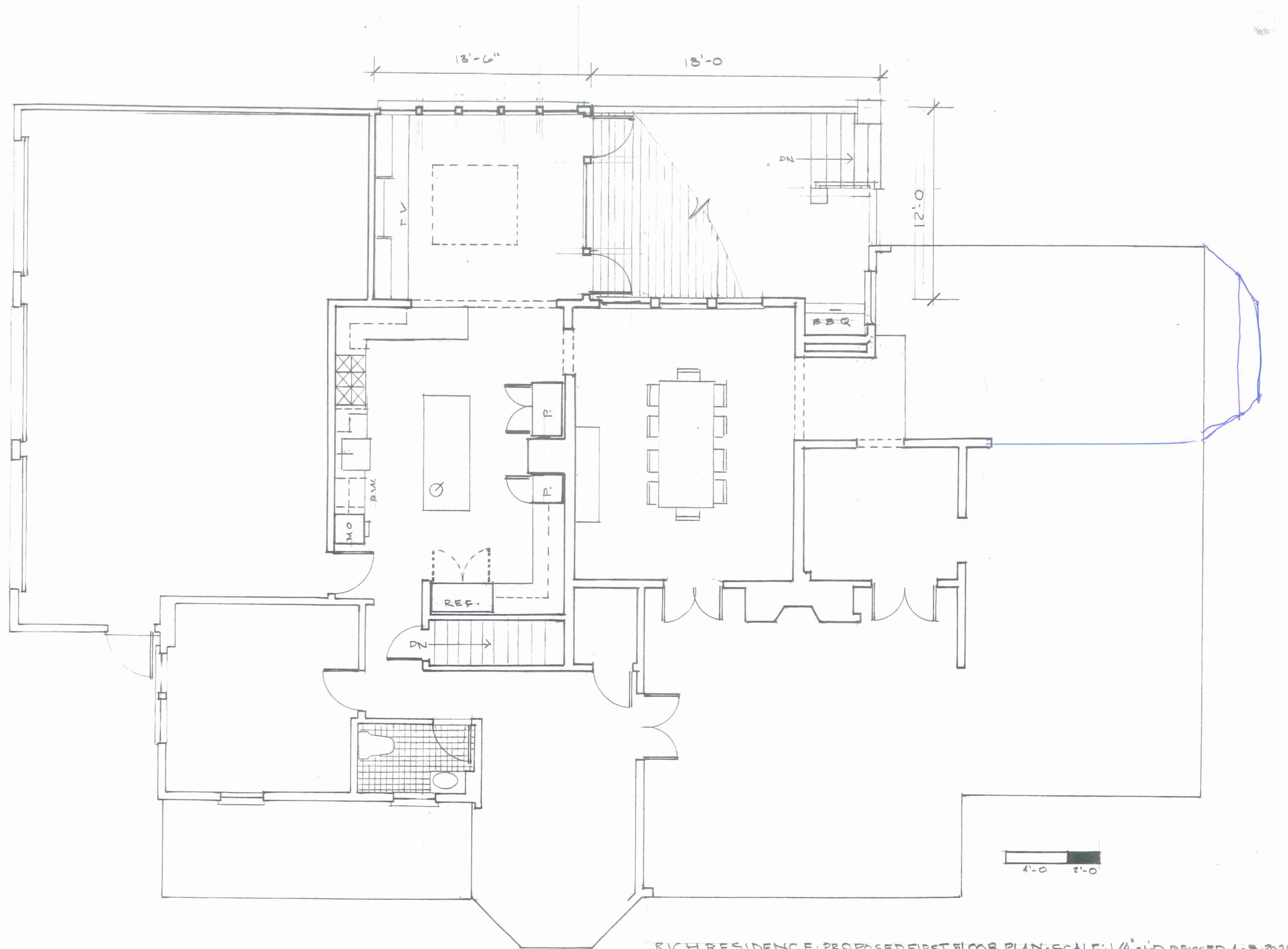
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RICH RESIDENCE

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ROBERT ZARELLI
ARCHITECT

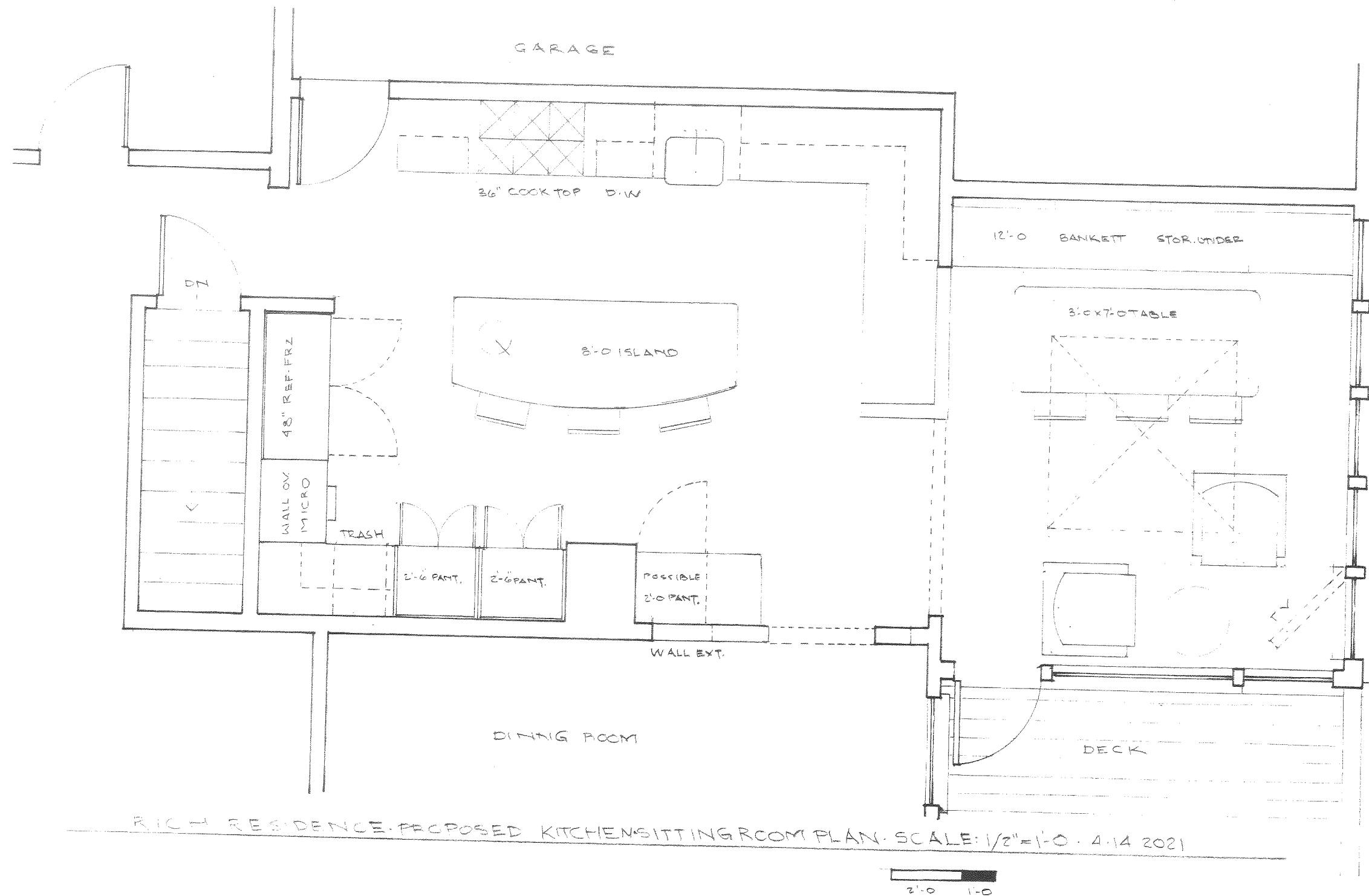
SLOCUM LOFT
66 WASHINGTON STREET
MARBLEHEAD, MA
781 • 883 • 1033



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ROBERT ZARELLI
ARCHITECT
SLOCUM LOFT
66 WASHINGTON STREET
MARBLEHEAD, MA

6-9-2021

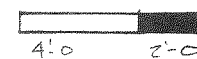


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ROBERT ZARELLI
ARCHITECT 6-9-2021
SLOCUM LOFT



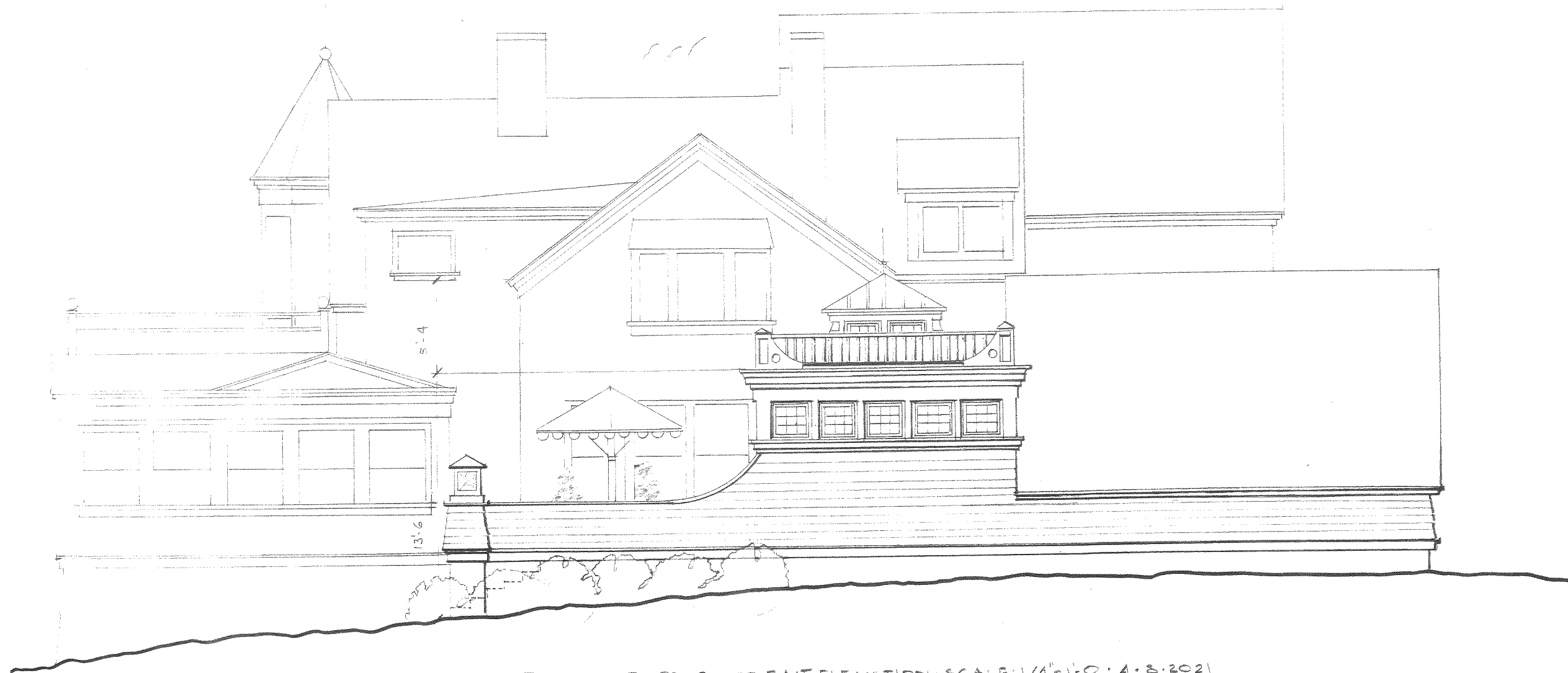
RICH RESIDENCE - PROPOSED OCEAN AVE. ELEVATION - SCALE: 1/4" = 1'-0" - 4.8.2021



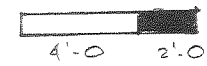
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SLOCUM LOFT
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781-226-1111

6-9-2021



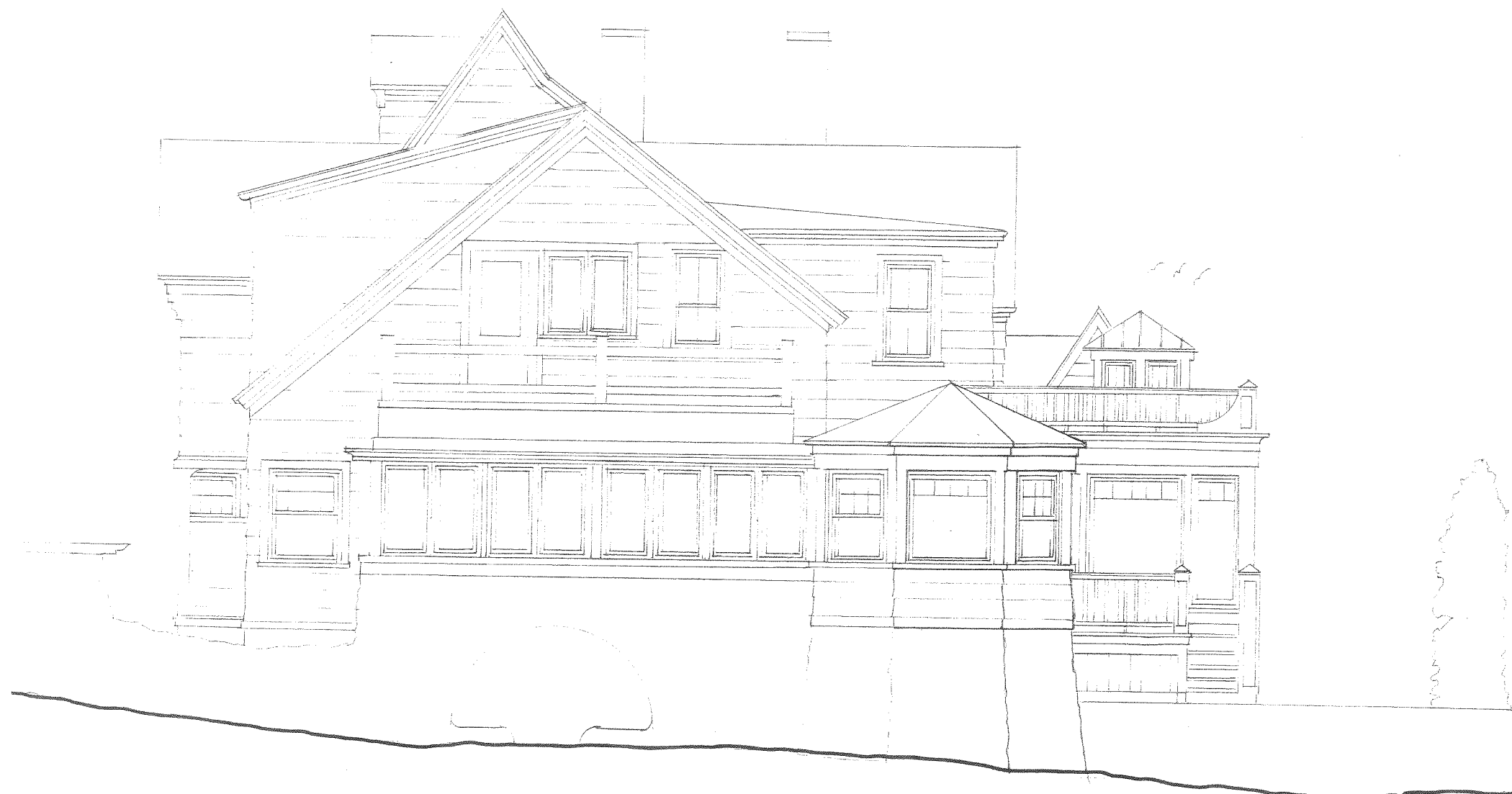
RICH RESIDENCE, PROPOSED EAST ELEVATION, SCALE: 1/4"=1'-0" • A.8.2021



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ROBERT ZARELLI
ARCHITECT
SLOCUM LOFT
66 WASHINGTON STREET
MARBLEHEAD, MA
701 603 1000

6-9-2021



RICH RESIDENCE - PROPOSED SOUTH ELEVATION - SCALE: 1/4" = 1'-0" - 5.20.2021



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ARCHITECT
SLOCUM LOFT
66 WASHINGTON STREET
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781 • 883 • 1033

6-9-2021