



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

2022 SEP 22 PM 3: 36

ZBA APPLICATION

PAGE 1 of 3

RECEIVED
MARBLEHEAD
TOWN CLERK

Town Clerk

Project Address 17 Homestead Road

Assessor Map(s) 33 Parcel Number(s) 62

OWNER INFORMATION

Signature _____ date _____

Name (printed) Lindsey and Christian Teter

Address 17 Homestead Road, MARblehead, MA 1945

Phone Numbers: home 781-248-1483 work _____

E-mail lindsey.teter@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 9.21.22

Name (printed) Lindsey and Christian Teter

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct an addition to an existing single-family dwelling

on a lot with less than the required lot area, lot frontage, lot width and front and side yard setbacks

located in a Singel Residence District.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature]

2. Town Clerk's stamp (upper right corner)

9-21-22

Reviewed by
Building Department
For Zoning Board
Of Appeals

View Bylaws - (Chapter 200, Zoning) - online at:

www.marblehead.ma.us

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 12-02-2020

Project Address 17 Homestead Road

Map(s) / Parcel(s) 33/82

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain) _____

PROPOSED CHANGE OF USE

No X Yes _____ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No X

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)
X Lot Width - Less than required (§200-7)
X Frontage - Less than required (§200-7 and Table 2)
X Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
X Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
X Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
Other Non-conformities (explain) _____
No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)
Lot Width - Less than required (§200-7)
Frontage - Less than required (§200-7 and Table 2)
X Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
X Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
Other Non-conformities (explain) _____
No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

Reviewed by
Building Department
For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No _____ (explain) _____

Building Official _____

Date 9-21-22

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 17 Homestead Road

Map(s) / Parcel(s) 33/62

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

6,000

6,000

Area of features

footprint of accessory building(s)

301

301

footprint of building

1,201

1,201

footprint of deck(s), porch(es), step(s), bulkhead(s)

85

88

number of required parking spaces 2 x (9' x 18' per space)

324

324

area of pond(s), or tidal area(s) below MHW

0

0

other areas (explain) _____

0

0

Sum of features = B

1,911

1,914

Net Open Area (NOA) = (A - B)

4,089

4,086

GROSS FLOOR AREA (GFA)

accessory structure(s)

301

301

basement or cellar (area >5' in height)

840

840

1st floor (12' or less in height) NOTE: [for heights exceeding

1,201

1,201

2nd floor (12' or less in height) 12' see definition

948

1,008

3rd floor (12' or less in height) of STORY §200-7]

0

0

4th floor (12' or less in height)

0

0

attic (area >5' in height)

0

0

area under deck (if >5' in height)

0

0

roofed porch(es)

27

48

Gross Floor Area (GFA) = sum of the above areas

3,317

3,398

Proposed total change in GFA = (proposed GFA - existing GFA) = 781-704-6592

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 1:2.44 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1: 1.23

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1: 1.20

This worksheet applies 1. plan by/dated Tucker Architecture & Landscape 9/13/2022

to the following plan(s): 2. plan by/dated North Shore Survey / 08/24/2022

3. plan by/dated _____

Building Official _____

Date 9-21-22

Reviewed by
Building Department
For Zoning Board
Of Appeals



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



T U C K E R
Architecture & Landscape
59 Atlantic Avenue, Marblehead, MA
www.tuckerarch.com
(781) 631-3346
Tucker Architecture and Landscape, LLC

Drawing Index:

CVR	Renderings
x1	Existing Basement Floor Plan
1	Proposed Basement Floor Plan
x2	Existing First Floor Plan
2	Proposed First Floor Plan
x3	Existing Second Floor Plan
3	Proposed Second Floor Plan
x4	Existing Roof Plan
4	Proposed Roof Plan
x5	Existing Building Elevations
5	Proposed Building Elevations
x6	Existing Building Elevations
6	Proposed Building Elevations

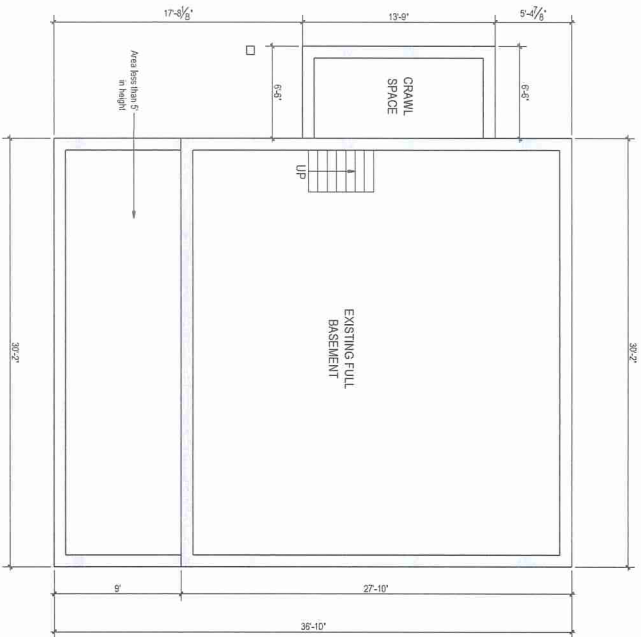
REVISION DATE
2022 09 13 ZSA Set

NOT FOR CONSTRUCTION

Teller Residence
17 Homestead Road
Marblehead, MA

Cover

NOTE: ORIGINAL DRAWINGS SET TO MATCH FULL SCALE. PAGE NO. CVR



① Existing Basement Plan
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls

Points of Egress to Exterior

REVISION DATE: 2022 09 13 ZBA Set

NOT FOR CONSTRUCTION

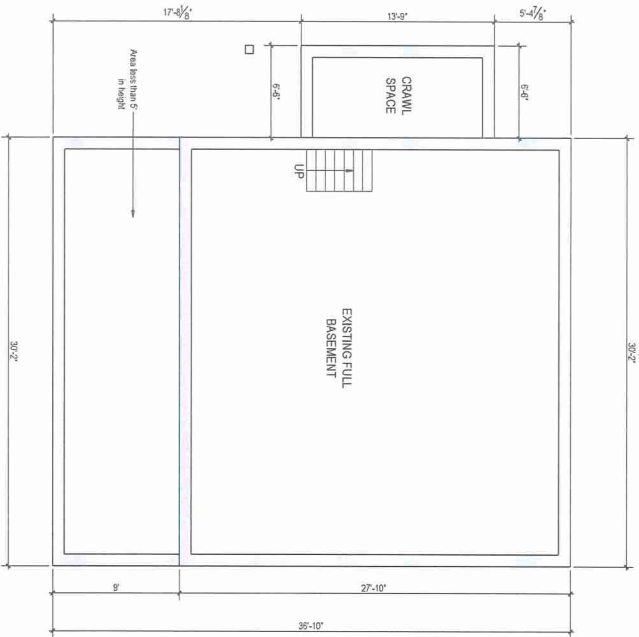
Taler Residence
17 Homestead Road
Marblehead, MA

Existing Basement Plan

NOTE: ORIGINAL DRAWING LEFT TO SHOW FULL SCALE

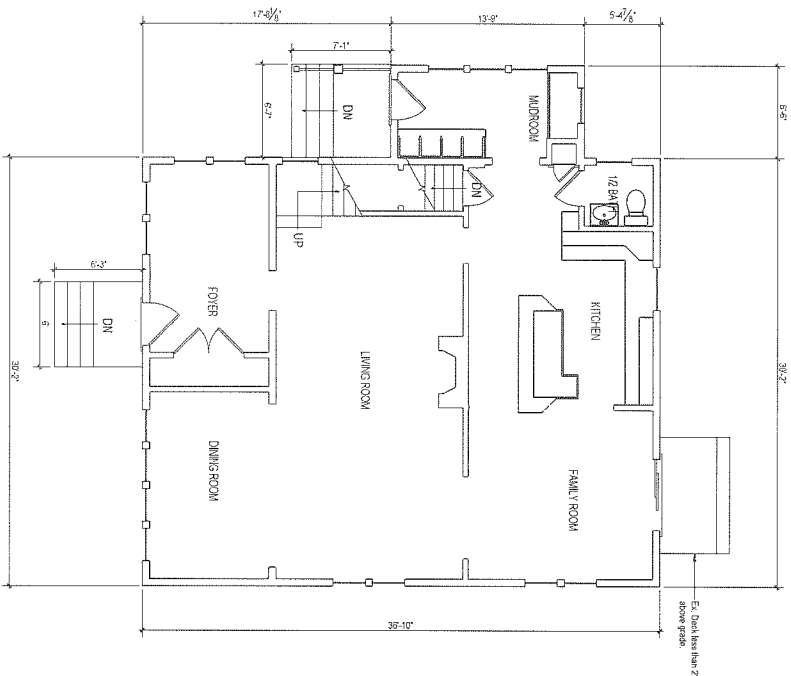
1" = 1'-0"

PAGE NO. X1








1 Proposed Basement Plan

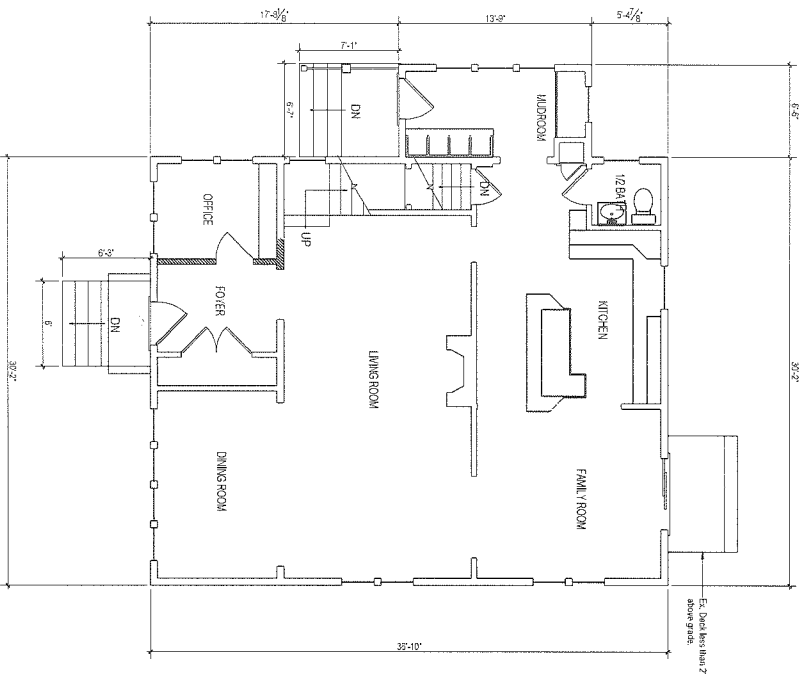
DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



1 Existing First Floor Plan
Scale: 1/8" = 1'-0"


DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

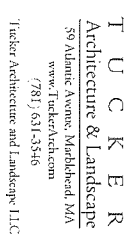
<div><p>T U C K E R Architecture & Landscape 59 Atlantic Avenue, Marblehead, MA www.tuckerarch.com (781) 531-3546 Tucker Architecture and Landscape LLC</p></div>	<p>PLAN WALL LEGEND</p> <ul style="list-style-type: none"> Proposed Stud Walls Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls <p>Points of Egress to Exterior</p> <p>REVISION DATE 2022 09 13 2B.A Set</p> <p>Teter Residence 17 Homestead Road Marblehead, MA Existing First Floor Plan</p> <p>TORRE ORIGINATOR DRAWING SET TO ARCHITECT SCALE PROJECT NO. X2</p>
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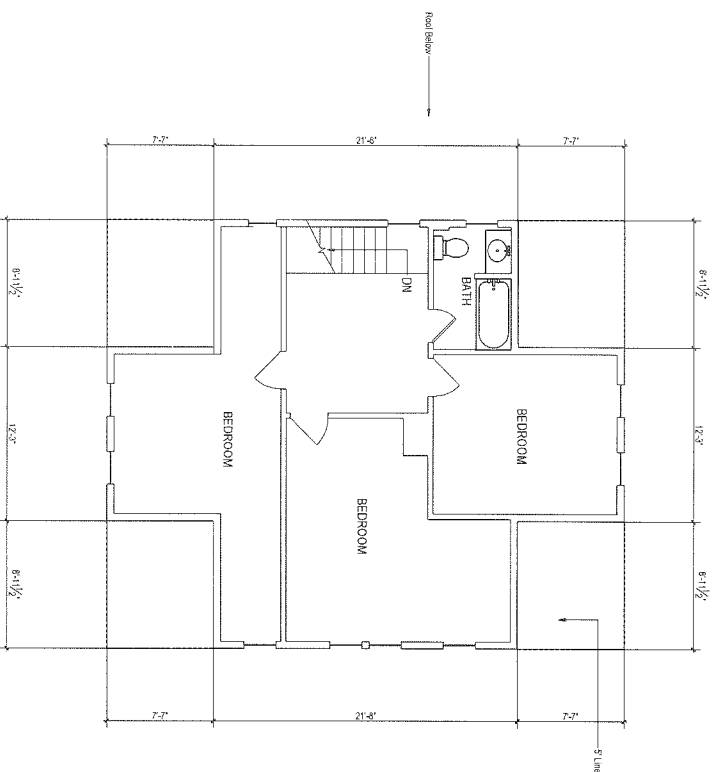
1 Proposed First Floor Plan
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY





<div><p>T U C K E R Architecture & Landscape 59 Atlantic Avenue, Marblehead, MA www.TuckerArch.com 781/631-3546 Tucker Architecture and Landscape, LLC</p></div>	<p>PLAN WALL LEGEND</p> <ul style="list-style-type: none">Proposed Stud WallsExisting Walls to RemainExisting Walls to be RemovedProposed Concrete WallsPoints of Egress to Exterior <p>REVISION DATE: 2022 09 13 29A Set</p>	<p>Taler Residence 17 Homestead Road Marblehead, MA Proposed First Floor Plan</p> <p>NOTE: ORIGINAL DRAWING SET TO THIS FULL SCALE. PAGE NO. 2</p>
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DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY



PLAN WALL LEGEND

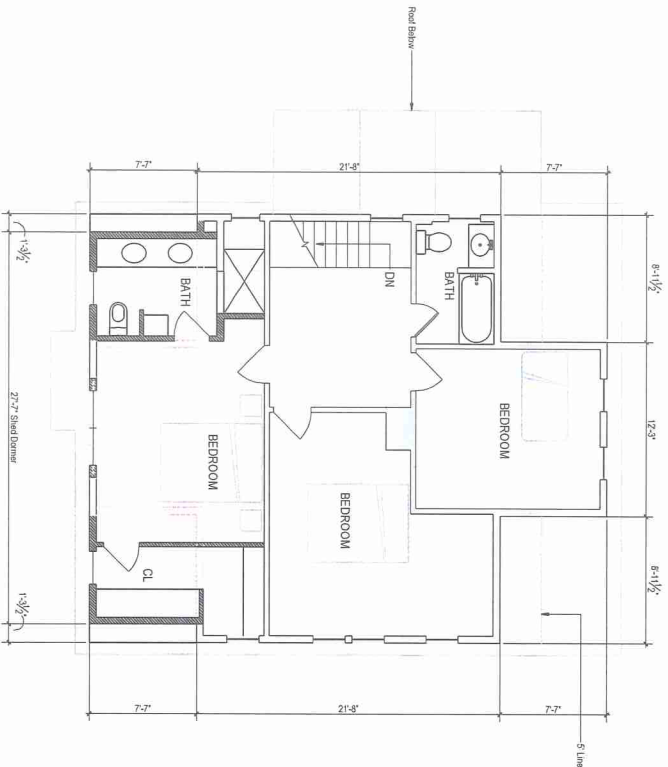
- | | |
|---|------------------------------|
|  | Proposed Stud Walls |
|  | Existing Walls to Remain |
|  | Existing Walls to be Removed |
|  | Proposed Concrete Walls |
| | Points of Egress to Exterior |

REVISION DATE:
2022 09 13 ZBA Set

Teter Residence
17 Homestead Road
Marblehead, MA
Existing Second Floor
Plans

NOTE: ORIGINAL DRAWING SET TO 24X36 FULL SCALE

3x



1 Proposed Second Floor Plan
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

NOT FOR CONSTRUCTION

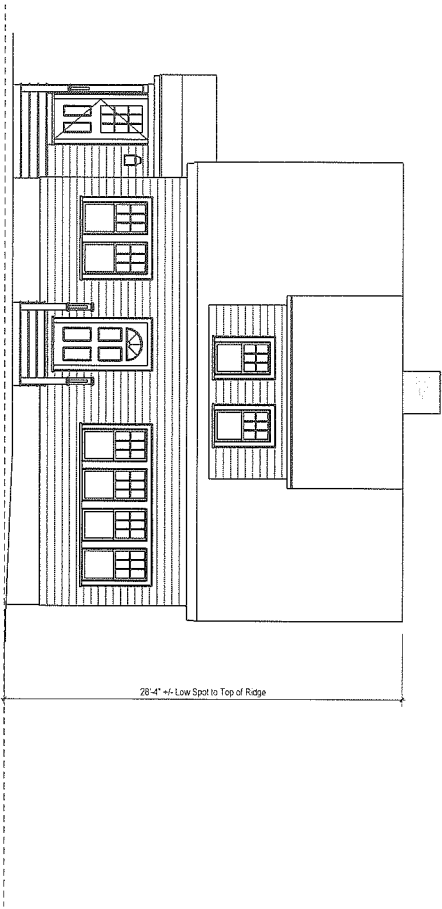
Teter Residence
17 Homestead Road
Marblehead, MA

Proposed Second Floor Plans

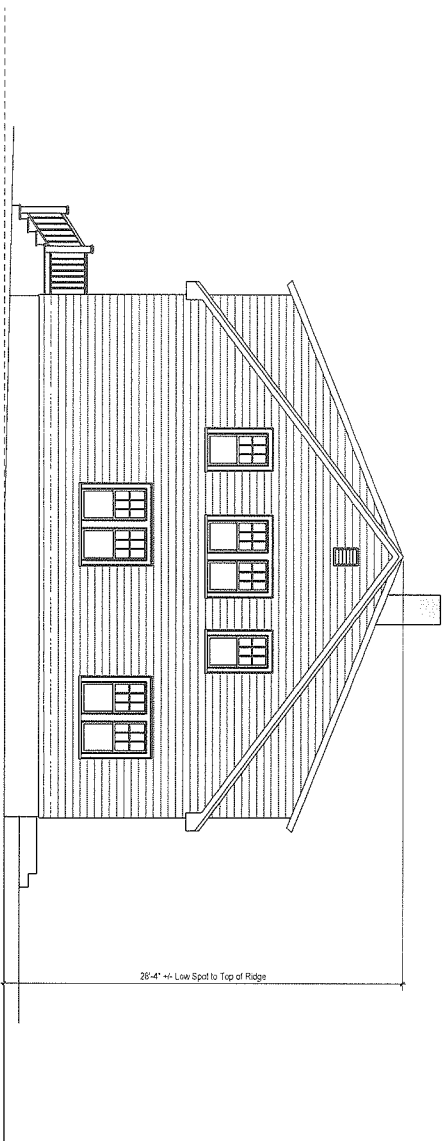
REVISION DATE
2022.09.13 2B/A Set

NOTE: ORIGINAL DRAWING SET TO ARCHITECTURAL SCALE

PAGE NO.
3




① Existing Front Elevation
Scale: 1/8" = 1'-0"



② Existing Side Elevation
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



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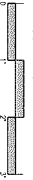
REVISION DATE
2022 09 13 29A Set

NOT FOR CONSTRUCTION

Taler Residence
17 Homestead Road
Marblehead, MA

Existing Elevations

NOTE: DRAWING SET TO ACCEPT SCALE



1" = 3'-0"

1/8" = 1'-0"

1/4" = 2'-0"

1/2" = 4'-0"

3/4" = 6'-0"

1" = 8'-0"

1 1/2" = 12'-0"

2" = 16'-0"

3" = 24'-0"

4" = 32'-0"

6" = 48'-0"

8" = 64'-0"

12" = 96'-0"

18" = 144'-0"

24" = 192'-0"

36" = 288'-0"

48" = 384'-0"

60" = 480'-0"

72" = 576'-0"

84" = 672'-0"

96" = 768'-0"

108" = 864'-0"

120" = 960'-0"

132" = 1056'-0"

144" = 1152'-0"

156" = 1248'-0"

168" = 1344'-0"

180" = 1440'-0"

192" = 1536'-0"

204" = 1632'-0"

216" = 1728'-0"

228" = 1824'-0"

240" = 1920'-0"

252" = 2016'-0"

264" = 2112'-0"

276" = 2208'-0"

288" = 2304'-0"

300" = 2400'-0"

312" = 2496'-0"

324" = 2592'-0"

336" = 2688'-0"

348" = 2784'-0"

360" = 2880'-0"

372" = 2976'-0"

384" = 3072'-0"

396" = 3168'-0"

408" = 3264'-0"

420" = 3360'-0"

432" = 3456'-0"

444" = 3552'-0"

456" = 3648'-0"

468" = 3744'-0"

480" = 3840'-0"

492" = 3936'-0"

504" = 4032'-0"

516" = 4128'-0"

528" = 4224'-0"

540" = 4320'-0"

552" = 4416'-0"

564" = 4512'-0"

576" = 4608'-0"

588" = 4704'-0"

600" = 4800'-0"

612" = 4896'-0"

624" = 4992'-0"

636" = 5088'-0"

648" = 5184'-0"

660" = 5280'-0"

672" = 5376'-0"

684" = 5472'-0"

696" = 5568'-0"

708" = 5664'-0"

720" = 5760'-0"

732" = 5856'-0"

744" = 5952'-0"

756" = 6048'-0"

768" = 6144'-0"

780" = 6240'-0"

792" = 6336'-0"

804" = 6432'-0"

816" = 6528'-0"

828" = 6624'-0"

840" = 6720'-0"

852" = 6816'-0"

864" = 6912'-0"

876" = 7008'-0"

888" = 7104'-0"

900" = 7200'-0"

912" = 7296'-0"

924" = 7392'-0"

936" = 7488'-0"

948" = 7584'-0"

960" = 7680'-0"

972" = 7776'-0"

984" = 7872'-0"

996" = 7968'-0"

1008" = 8064'-0"

1020" = 8160'-0"

1032" = 8256'-0"

1044" = 8352'-0"

1056" = 8448'-0"

1068" = 8544'-0"

1080" = 8640'-0"

1092" = 8736'-0"

1104" = 8832'-0"

1116" = 8928'-0"

1128" = 9024'-0"

1140" = 9120'-0"

1152" = 9216'-0"

1164" = 9312'-0"

1176" = 9408'-0"

1188" = 9504'-0"

1200" = 9600'-0"

1212" = 9696'-0"

1224" = 9792'-0"

1236" = 9888'-0"

1248" = 9984'-0"

1260" = 10080'-0"

1272" = 10176'-0"

1284" = 10272'-0"

1296" = 10368'-0"

1308" = 10464'-0"

1320" = 10560'-0"

1332" = 10656'-0"

1344" = 10752'-0"

1356" = 10848'-0"

1368" = 10944'-0"

1380" = 11040'-0"

1392" = 11136'-0"

1404" = 11232'-0"

1416" = 11328'-0"

1428" = 11424'-0"

1440" = 11520'-0"

1452" = 11616'-0"

1464" = 11712'-0"

1476" = 11808'-0"

1488" = 11904'-0"

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1512" = 12096'-0"

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1548" = 12384'-0"

1560" = 12480'-0"

1572" = 12576'-0"

1584" = 12672'-0"

1596" = 12768'-0"

1608" = 12864'-0"

1620" = 12960'-0"

1632" = 13056'-0"

1644" = 13152'-0"

1656" = 13248'-0"

1668" = 13344'-0"

1680" = 13440'-0"

1692" = 13536'-0"

1704" = 13632'-0"

1716" = 13728'-0"

1728" = 13824'-0"

1740" = 13920'-0"

1752" = 14016'-0"

1764" = 14112'-0"

1776" = 14208'-0"

1788" = 14304'-0"

1800" = 14400'-0"

1812" = 14496'-0"

1824" = 14592'-0"

1836" = 14688'-0"

1848" = 14784'-0"

1860" = 14880'-0"

1872" = 14976'-0"

1884" = 15072'-0"

1896" = 15168'-0"

1908" = 15264'-0"

1920" = 15360'-0"

1932" = 15456'-0"

1944" = 15552'-0"

1956" = 15648'-0"

1968" = 15744'-0"

1980" = 15840'-0"

1992" = 15936'-0"

2004" = 16032'-0"

2016" = 16128'-0"

2028" = 16224'-0"

2040" = 16320'-0"

2052" = 16416'-0"

2064" = 16512'-0"

2076" = 16608'-0"

2088" = 16704'-0"

2100" = 16800'-0"

2112" = 16896'-0"

2124" = 16992'-0"

2136" = 17088'-0"

2148" = 17184'-0"

2160" = 17280'-0"

2172" = 17376'-0"

2184" = 17472'-0"

2196" = 17568'-0"

2208" = 17664'-0"

2220" = 17760'-0"

2232" = 17856'-0"

2244" = 17952'-0"

2256" = 18048'-0"

2268" = 18144'-0"

2280" = 18240'-0"

2292" = 18336'-0"

2304" = 18432'-0"

2316" = 18528'-0"

2328" = 18624'-0"

2340" = 18720'-0"

2352" = 18816'-0"

2364" = 18912'-0"

2376" = 19008'-0"

2388" = 19104'-0"

2400" = 19200'-0"

2412" = 19296'-0"

2424" = 19392'-0"

2436" = 19488'-0"

2448" = 19584'-0"

2460" = 19680'-0"

2472" = 19776'-0"

2484" = 19872'-0"

2496" = 19968'-0"

2508" = 20064'-0"

2520" = 20160'-0"

2532" = 20256'-0"

2544" = 20352'-0"

2556" = 20448'-0"

2568" = 20544'-0"

2580" = 20640'-0"

2592" = 20736'-0"

2604" = 20832'-0"

2616" = 20928'-0"

2628" = 21024'-0"

2640" = 21120'-0"

2652" = 21216'-0"

2664" = 21312'-0"

2676" = 21408'-0"

2688" = 21504'-0"

2700" = 21600'-0"

2712" = 21696'-0"

2724" = 21792'-0"

2736" = 21888'-0"

2748" = 21984'-0"

2760" = 22080'-0"

2772" = 22176'-0"

2784" = 22272'-0"

2796" = 22368'-0"

2808" = 22464'-0"

2820" = 22560'-0"

2832" = 22656'-0"

2844" = 22752'-0"

2856" = 22848'-0"

2868" = 22944'-0"

2880" = 23040'-0"

2892" = 23136'-0"

2904" = 23232'-0"

2916" = 23328'-0"

2928" = 23424'-0"

2940" = 23520'-0"

2952" = 23616'-0"

2964" = 23712'-0"

2976" = 23808'-0"

2988" = 23904'-0"

3000" = 24000'-0"

3012" = 24096'-0"

3024" = 24192'-0"

3036" = 24288'-0"

3048" = 24384'-0"

3060" = 24480'-0"

3072" = 24576'-0"

3084" = 24672'-0"

3096" = 24768'-0"

3108" = 24864'-0"

3120" = 24960'-0"

3132" = 25056'-0"

3144" = 25152'-0"

3156" = 25248'-0"

3168" = 25344'-0"

3180" = 25440'-0"

3192" = 25536'-0"

3204" = 25632'-0"

3216" = 25728'-0"

3228" = 25824'-0"

3240" = 25920'-0"

3252" = 26016'-0"

3264" = 26112'-0"

3276" = 26208'-0"

3288" = 26304'-0"

3300" = 26400'-0"

3312" = 26496'-0"

3324" = 26592'-0"

3336" = 26688'-0"

3348" = 26784'-0"

3360" = 26880'-0"

3372" = 26976'-0"

3384" = 27072'-0"

3396" = 27168'-0"

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3432" = 27456'-0"

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3456" = 27648'-0"

3468" = 27744'-0"

3480" = 27840'-0"

3492" = 27936'-0"

3504" = 28032'-0"

3516" = 28128'-0"

3528" = 28224'-0"

3540" = 28320'-0"

3552" = 28416'-0"

3564" = 28512'-0"

3576" = 28608'-0"

3588" = 28704'-0"

3600" = 28800'-0"

3612" = 28896'-0"

3624" = 28992'-0"

3636" = 29088'-0"

3648" = 29184'-0"

3660" = 29280'-0"

3672" = 29376'-0"

3684" = 29472'-0"

3696" = 29568'-0"

3708" = 29664'-0"

3720" = 29760'-0"

3732" = 29856'-0"

3744" = 29952'-0"

3756" = 30048'-0"

3768" = 30144'-0"

3780" = 30240'-0"

3792" = 30336'-0"

3804" = 30432'-0"

3816" = 30528'-0"

3828" = 30624'-0"

3840" = 30720'-0"

3852" = 30816'-0"

3864" = 30912'-0"

3876" = 31008'-0"

3888" = 31104'-0"

3900" = 31200'-0"

3912" = 31296'-0"

3924" = 31392'-0"

3936" = 31488'-0"

3948" = 31584'-0"

3960" = 31680'-0"

3972" = 31776'-0"

3984" = 31872'-0"

3996" = 31968'-0"

4008" = 32064'-0"

4020" = 32160'-0"

4032" = 32256'-0"

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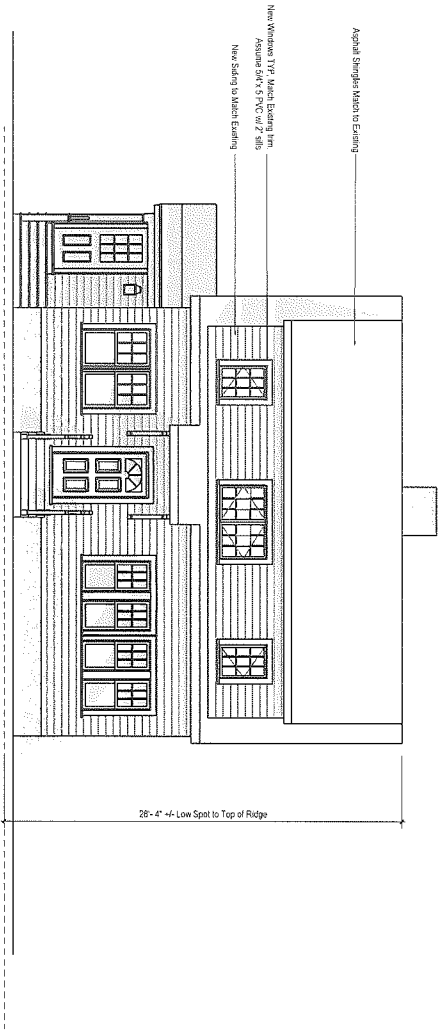
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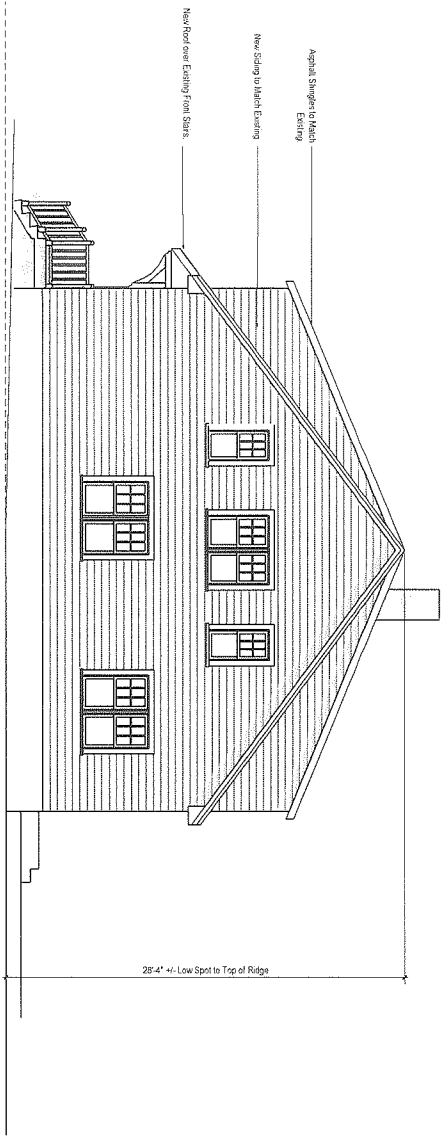
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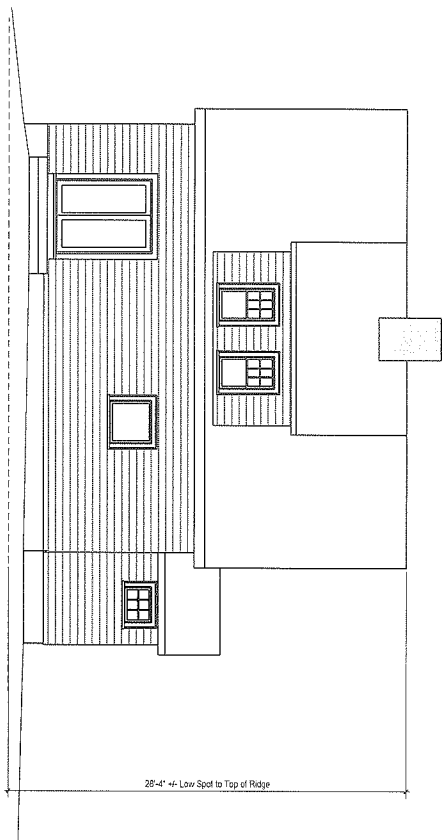
① Proposed Front Elevation
Scale: 1/8" = 1'-0"



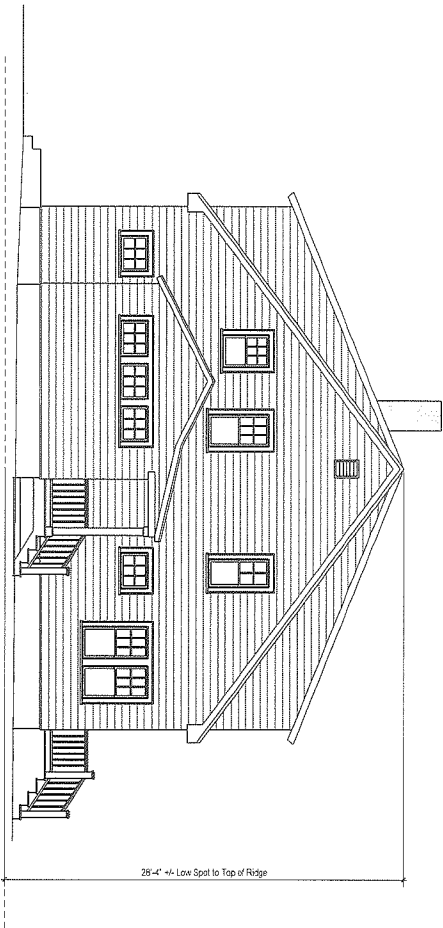
② Proposed Side Elevation
Scale: 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

<div><p>T U C K E R Architecture & Landscape 50 Atlantic Avenue, Marblehead, MA www.tuckerarch.com (781) 631-3346 Tucker Architecture and Landscape LLC</p></div>	<p>REVISION DATE 2022.09.13 29A sbl</p> <p>NOT FOR CONSTRUCTION</p> <p>Teler Residence 17 Homestead Road Marblehead, MA</p> <p>Proposed Elevations</p> <p>NOTE: ORIGINAL DRAWINGS LEFT TO SCALE. FULL SCALE: 1" = 1'-0"</p> <p>5</p>
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① Existing Rear Elevation
Scale 1/8"=1'-0"



② Existing Side Elevation
Scale 1/8"=1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



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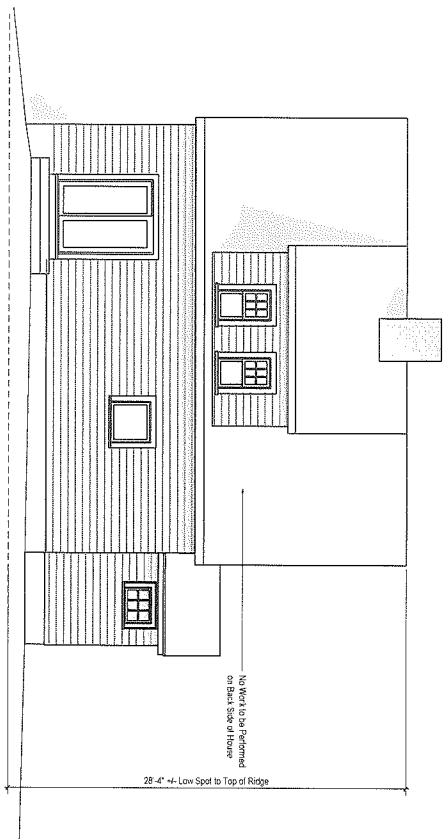
Teller Residence
17 Homestead Road
Marblehead, MA

Existing Elevations

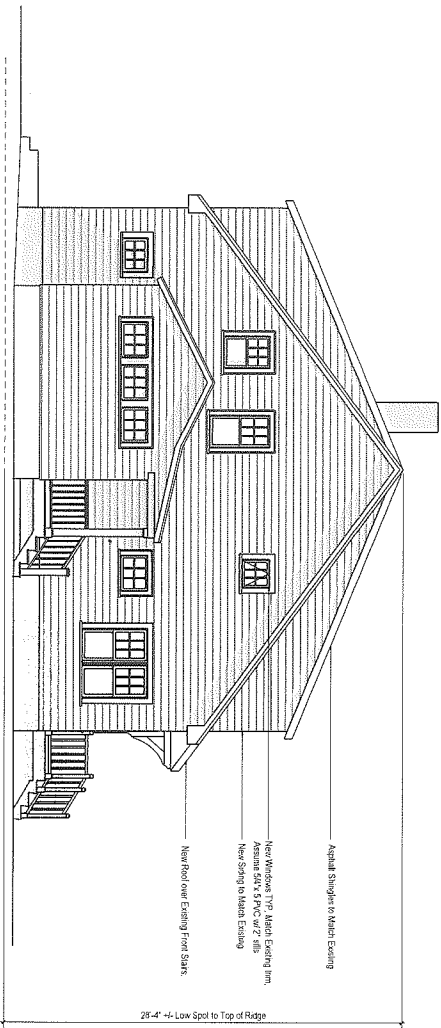
NOTE: ORIGINAL DRAWING SET TO ARCH PLOT SCALE

6 5 4 3 2 1

X6




1 Proposed Rear Elevation
Scale: 1/8" = 1'-0"



2 Proposed Side Elevation
Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY




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Proposed Elevations



NOTE: ORIGINAL DRAWING SET TO PAPER FULL SCALE

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