



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3

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MARBLEHEAD
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2022 MAY 19 AM 11:50

Town Clerk

Project Address 11 Ruby Avenue

Assessor Map(s) 13

Parcel Number(s) 26

OWNER INFORMATION

Signature _____

date _____

Name (printed) Brian and Meghan Perlow

Address 11 Ruby Avenue, Marblehead, MA 01945

Phone Numbers: home 617-510-0377

work _____

E-mail bcperlow@gmail.com

fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature _____

date 5-17-22

Name (printed) Brian and Meghan Perlow

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home _____

work 781-631-7808

E-mail lynch@marbleheadlaw.com

fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct an addition to an existing single family dwelling on a lot with less than the required lot area, lot frontage, lot width, front and side yard setbacks and with less than the required open area located in a single residence district. The addition will exceed the allowed 10 % expansion for a nonconforming structure.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) _____

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 12-02-2020

Project Address 11 Ruby Avenue

Map(s) / Parcel(s) 13/26

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain) _____

PROPOSED CHANGE OF USE

No X Yes _____ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No X

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)
X Lot Width - Less than required (§200-7)
X Frontage - Less than required (§200-7 and Table 2)
X Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
X Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
X Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
Other Non-conformities (explain) _____
No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)
Lot Width - Less than required (§200-7)
Frontage - Less than required (§200-7 and Table 2)
X Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
X Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
X Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
Other Non-conformities (explain) _____
No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No _____ (explain) _____

Building Official _____

Date 5-18-22

Reviewed by
Building Department
For Zoning Board
Of Appeals

Town of Marblehead
ZBA-APPLICATION
Page 3 of 3

Revision Date: 12-02-2020

Project Address 11 Ruby Avenue

Map(s) / Parcel(s) 13/26

NET OPEN AREA (NOA)

	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	<u>4,000</u>	<u>4,000</u>
Area of features		
footprint of accessory building(s)	<u>96</u>	<u>96</u>
footprint of building	<u>910</u>	<u>885</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>167</u>	<u>208</u>
number of required parking spaces <u>2</u> x (9' x 18' per space)	<u>324</u>	<u>324</u>
area of pond(s), or tidal area(s) below MHW	<u>0</u>	<u>0</u>
other areas (explain) _____	<u>0</u>	<u>0</u>
Sum of features = B	<u>1,497</u>	<u>1,513</u>
Net Open Area (NOA) = (A - B)	<u>2,503</u>	<u>2,487</u>

GROSS FLOOR AREA (GFA)

accessory structure(s)	<u>96</u>	<u>96</u>
basement or cellar (area > 5' in height)	<u>760</u>	<u>760</u>
1st floor (12' or less in height) NOTE: [for heights exceeding	<u>910</u>	<u>885</u>
2nd floor (12' or less in height) 12' see definition	<u>504</u>	<u>974</u>
3rd floor (12' or less in height) of STORY §200-7]	<u>0</u>	<u>638</u>
4th floor (12' or less in height)	<u>0</u>	<u>0</u>
attic (area > 5' in height)	<u>0</u>	<u>0</u>
area under deck (if > 5' in height)	<u>0</u>	<u>0</u>
roofed porch(es)	<u>88</u>	<u>88</u>
Gross Floor Area (GFA) = sum of the above areas	<u>2,358</u>	<u>3,441</u>

Proposed total change in GFA = (proposed GFA - existing GFA) = 1,083

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 45.93 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1: 1.06

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1: .72

This worksheet applies 1. plan by/dated Tucker Architecture & Landscape 5/11/22

to the following plan(s): 2. plan by/dated Bartram Land Survey 4/28/22

3. plan by/dated _____

Building Official _____

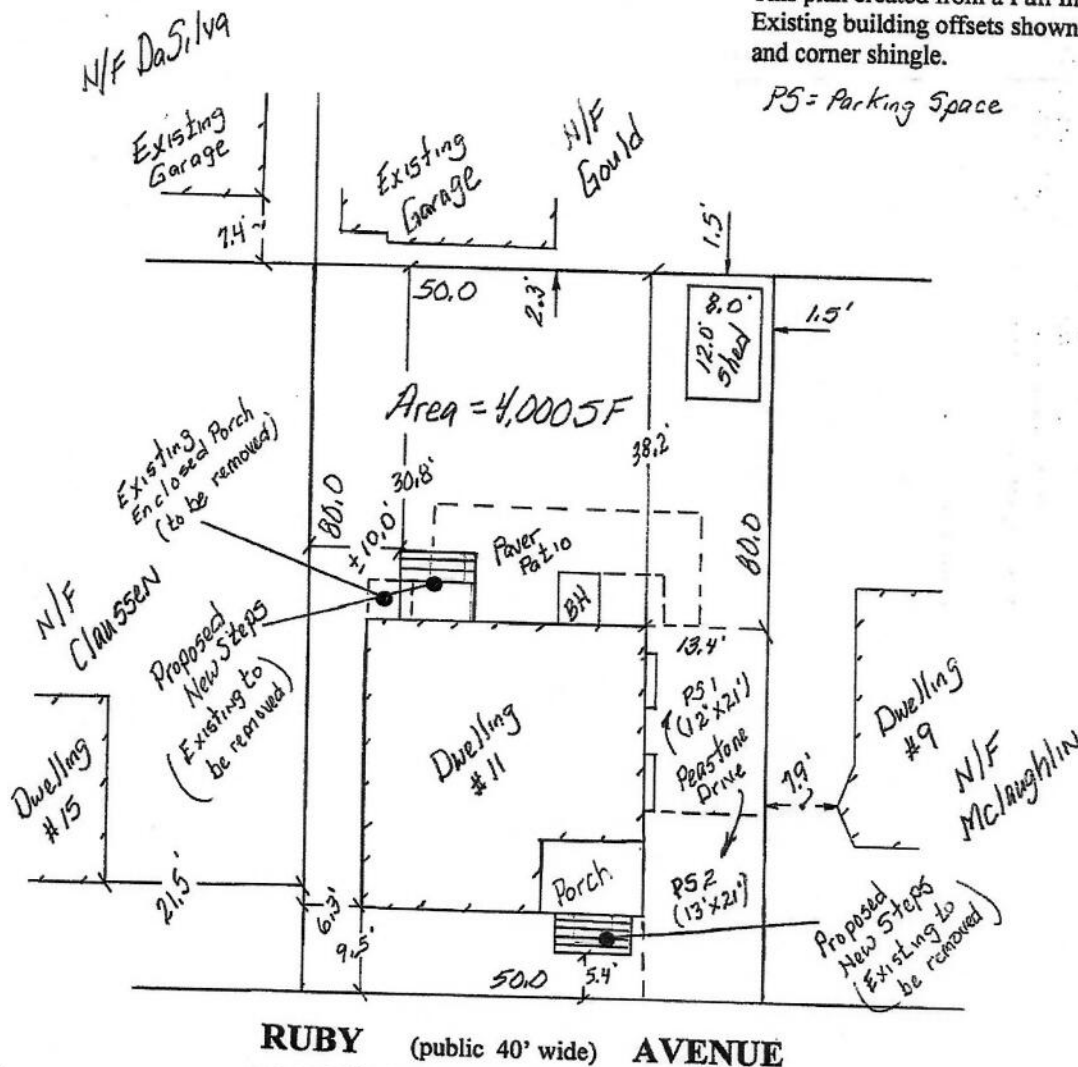
Date 5-18-22

Reviewed by
Building Department
For Zoning Board
Of Appeals

Notes: The height of the peak of the roof from the lowest adjacent spot on the ground is 25.4'. A second floor is proposed to be built within the footprint of the existing building shown.

Notes: Utilities have not been surveyed and are not shown. DIGSAFE must be notified prior to excavation. This plan created from a Full Instrument Survey. Existing building offsets shown are to corner board and corner shingle.

PS = Parking Space



ASSESSORS:

ID 13 26 0

REFERENCES:

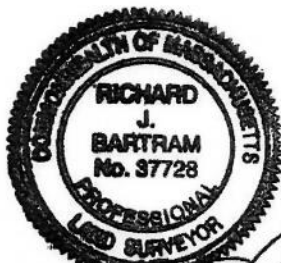
Plan in Book 1844 Pg 600

ZONE:

SR

	Required	Existing	Proposed
Lot Area	10,000SF	4,000SF	4,000SF
Frontage	100'	50'	50'
Front	20'	6.2'(steps)	5.4'(steps)
Side	15'	6.3'	6.3'
Rear	15'	30.8'(steps)	30.8'(steps)
Height	35'	25.4'	34.75'

I CERTIFY THAT THE DWELLING, #11, EXISTS ON THE GROUND AS SHOWN AND THAT THE PROPOSED IMPROVEMENTS ARE TO BE BUILT AS SHOWN WITH RESPECT TO THE LOT LINES.



4/28/22

SCALE: 1" = 20'

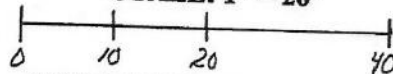


EXHIBIT PLAN OF LAND

IN MARBLEHEAD MA

11 RUBY AVENUE

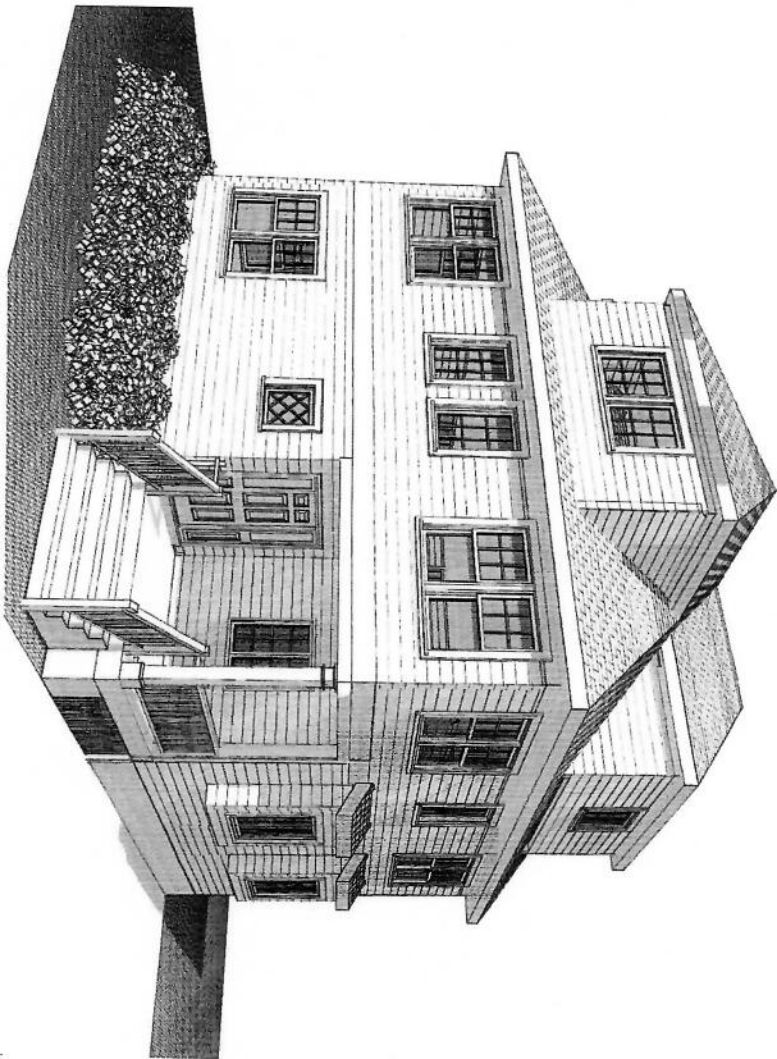
PREPARED FOR

MEGAN PERLOW

Scale 1" = 20'

BARTRAM LAND SURVEY

2 Fruit Street Byfield MA 01922



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Tucker Architecture and Landscape, LLC

Drawing Index:

CVR	Cover
x1	Existing Basement Floor Plan
1	Proposed Basement Floor Plan
x2	Existing First Floor Plan
2	Proposed First Floor Plan
x3	Existing Second Floor Plan
3	Proposed Second Floor Plan
4	Proposed Attic Floor Plan
x5	Existing Roof Plan
5	Proposed Roof Plan
x6	Existing Building Elevations
6	Proposed Building Elevations
x7	Existing Building Elevations
7	Proposed Building Elevations

REVISION DATE:
2022 05 11 ZBA Set

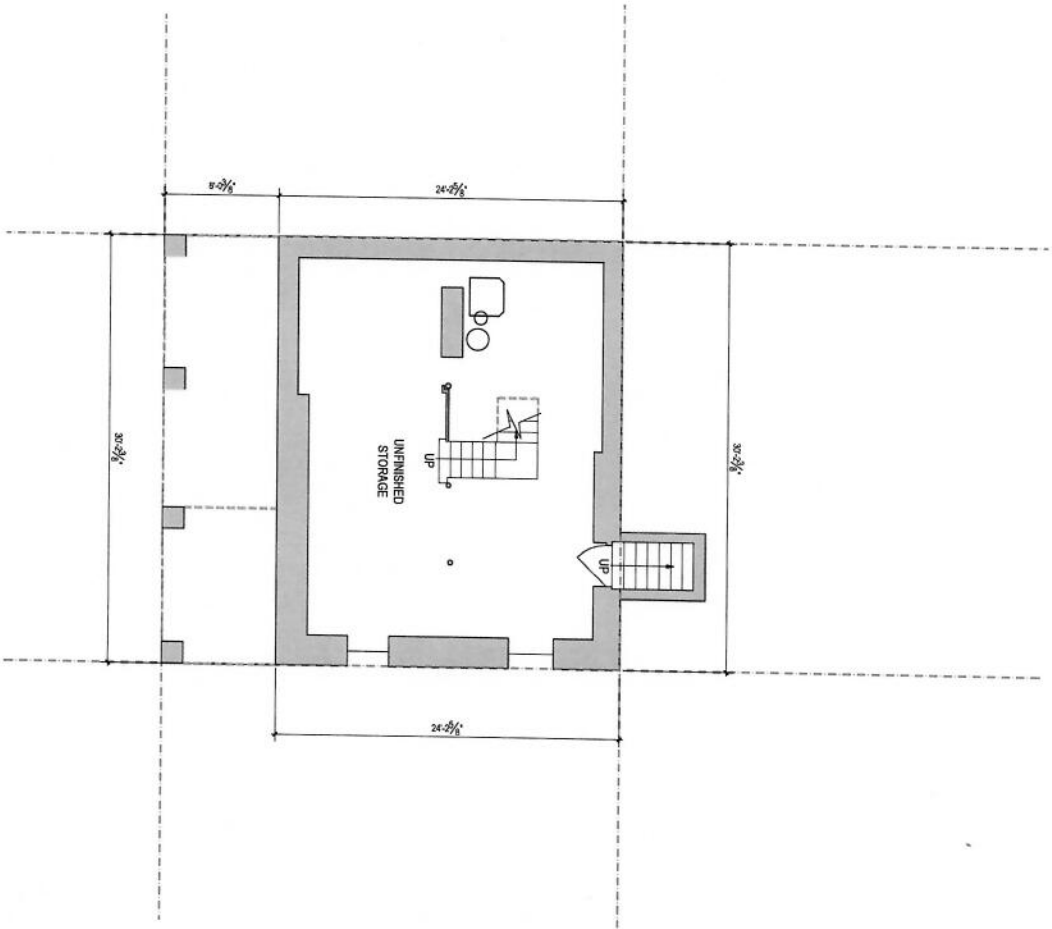
NOT FOR CONSTRUCTION

Perlow Residence
11 Ruby Avenue
Marshfield, MA

Cover

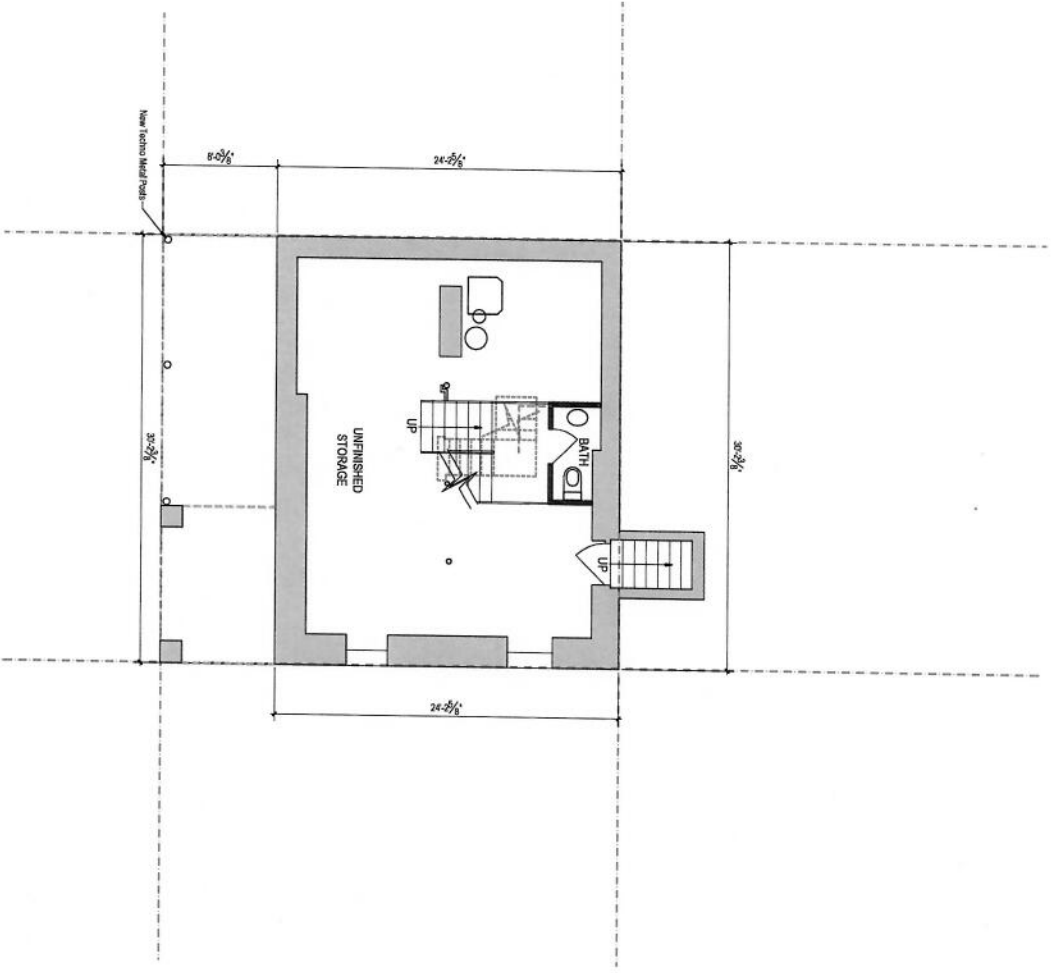
NOTE: ORIGINATING DRAWING IS TO SHOW FULL SCALE. **CVR** PAGE NO.

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY





DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

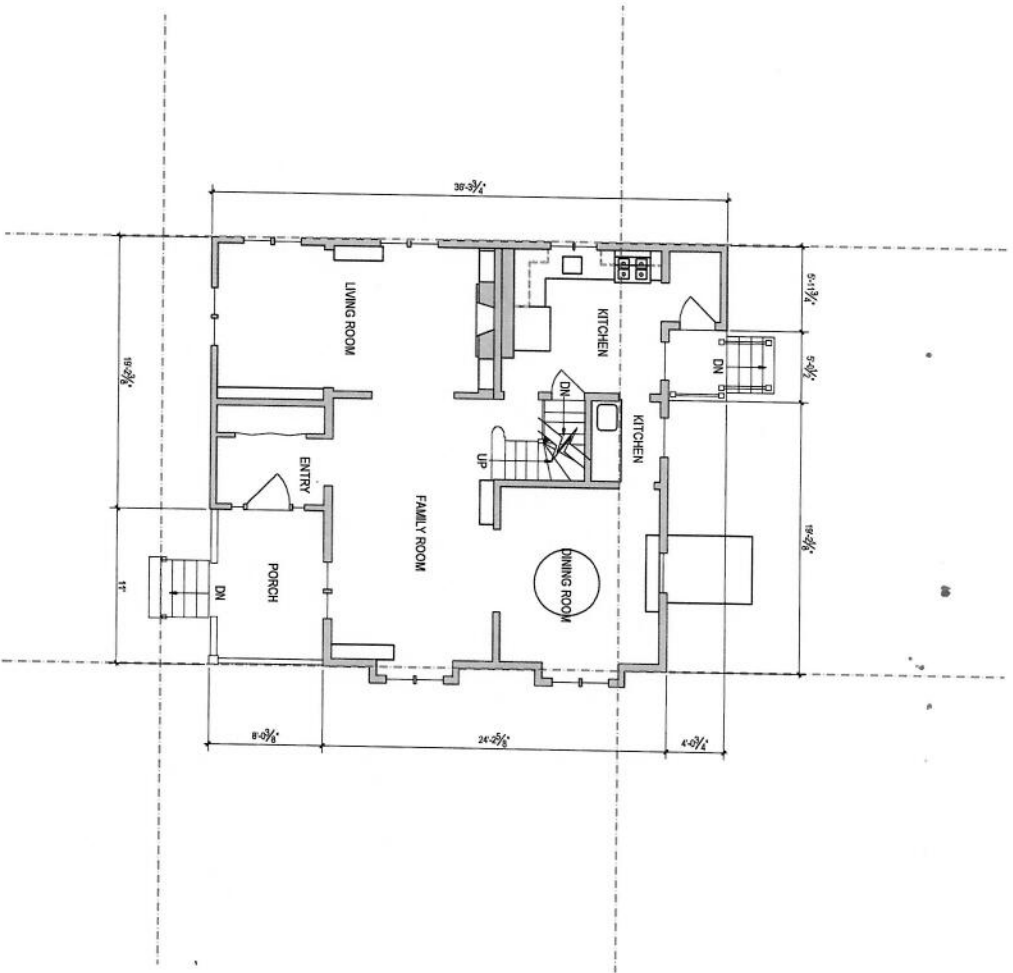
<p>TUCKER Architecture & Landscape 59 Atlantic Avenue, Marblehead, MA www.tuckerarch.com (781) 631-3546 Tucker Architecture and Landscape LLC</p>	
<p>PERFOR WALL LEGEND Proposed Solid Walls Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls Points of Egress to Exterior</p>	
<p>REVISION DATE: 2022 05 11 ZBA set</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Perfor Residence 11 Ruby Avenue Marblehead, MA</p>	
<p>Existing Basement Floor Plan</p>	
<p>NOTE: ORIGIN: DRAWING SET TO ASH FILL SCALE</p>	<p>PAGE NO. X1</p>



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<p>PLAN WALL LEGEND</p> <ul style="list-style-type: none"> Proposed Slab Walls Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls Point of Egress to Exterior 	
<p>REVISION DATE: 2022 05 11 ZBA Set</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Perlow Residence 11 Ruby Avenue Marshfield, MA</p>	
<p>Proposed Basement Floor Plan</p>	
<p>NOTE: ORIGINAL DRAWING SET TO FOUR EIGHT SCALE</p> 	<p>PAGE NO. 1</p>

1 First Floor Plan
Scale: 1/8" = 1'-0"



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

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PLAN WALL LEGEND

- Existing Walls to be Retained
- Existing Walls to be Demolished
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISION DATE
2022 05 11 ZBA Set

NOT FOR CONSTRUCTION

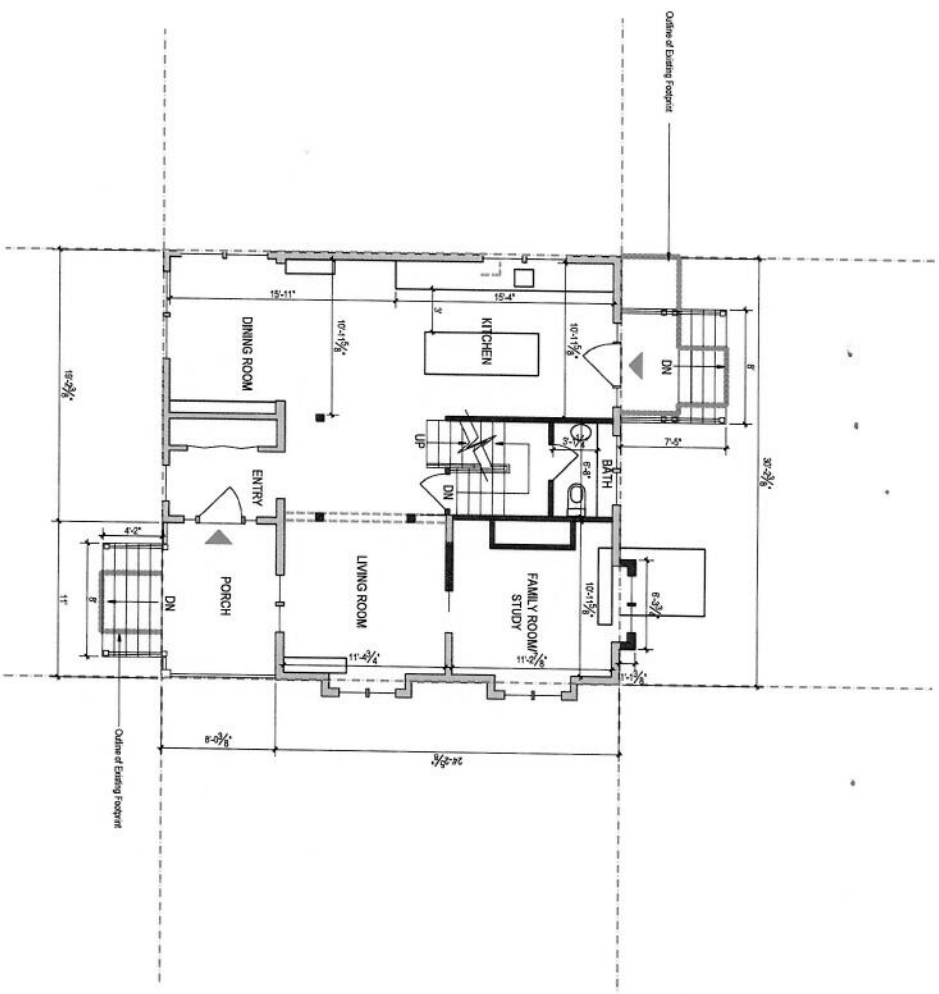
Perlow Residence
11 Ruby Avenue
Marshfield, MA

Existing First Floor Plan

NOTE: ORIGINAL DRAWING SET TO 3/8" = 1'-0" SCALE

PAGE NO. **x2**


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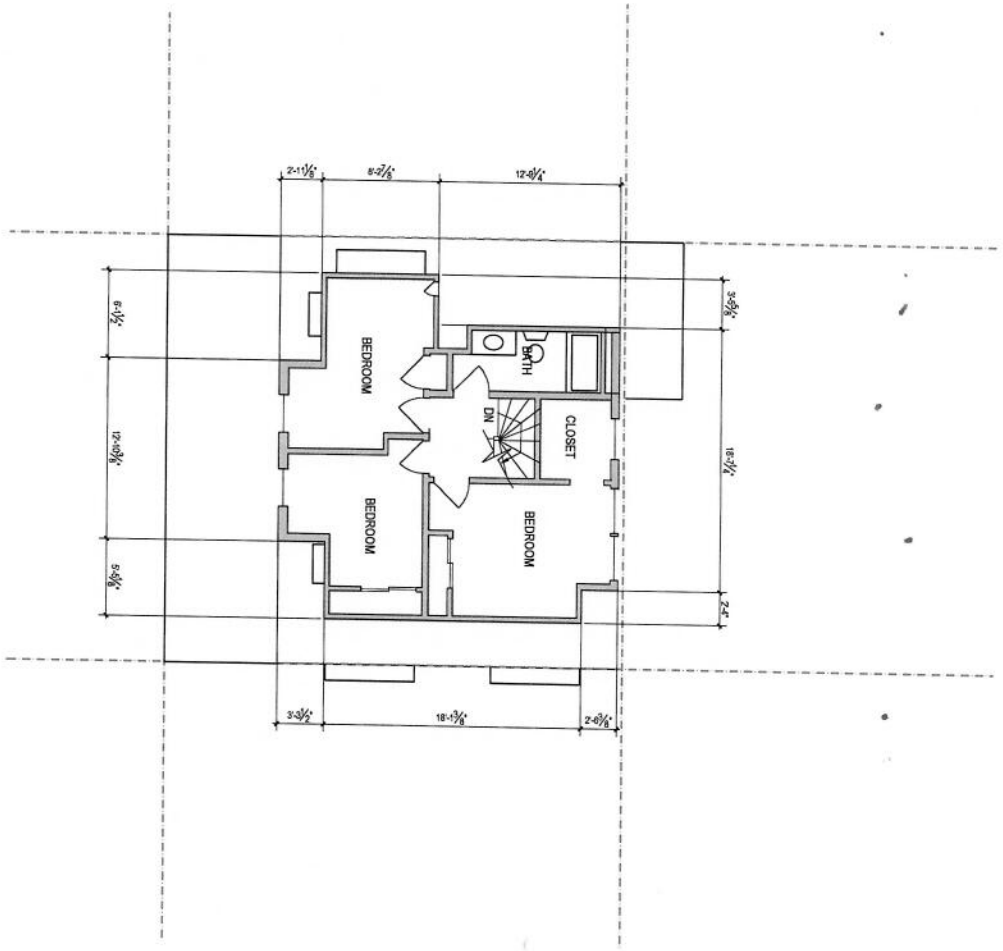


① **First Floor Plan**
 Scale: 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY


<p>NOT FOR CONSTRUCTION</p> <p>Perlow Residence 11 Ruby Avenue Marblehead, MA</p> <p>Proposed First Floor Plan</p>	<p>REVISION DATE: 2022 05 11 ZBA Set</p>	<p>RAW WALL LEGEND</p> <ul style="list-style-type: none"> Proposed Solid Wall Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls Point of Egress to Exterior 	<p>NOTE: ORIGINAL DRAWING LEFT TO ADAPTIVE SCALE</p> <p>2</p>
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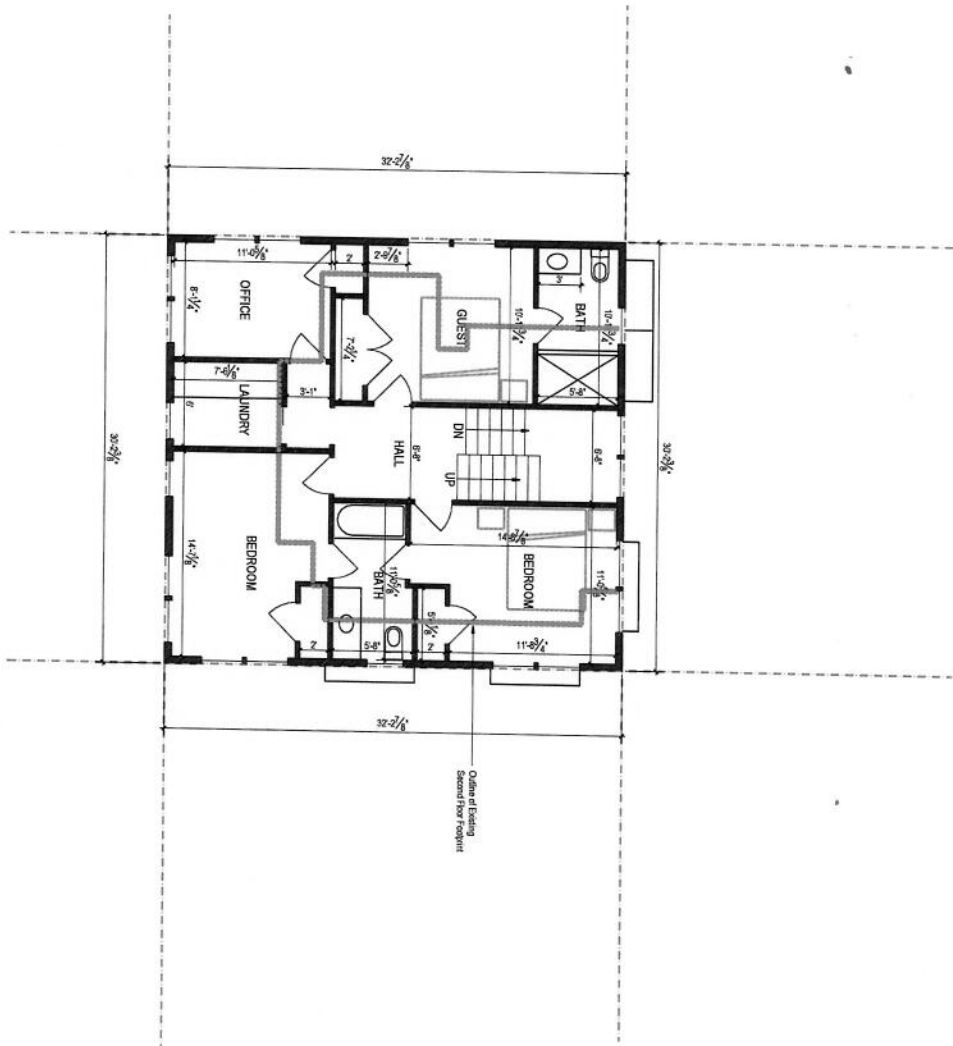


① Second Floor Plan
 Scale: 1/8" = 1'-0"

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

<p>  0' 1' 2' 3' X3 </p>	<p> NOT FOR CONSTRUCTION Perlow Residence 11 Ruby Avenue Marblehead, MA Existing Second Floor Plan </p>	<p> REVISIONS: 2022 05 11 2BA Sht </p>	<p> PLAN WALL LEGEND ———— Proposed Stud Walls ———— Existing Walls to Remain - - - - - Existing Walls to be Removed ===== Proposed Concrete Walls ▲ Points of Egress to Exterior </p>
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① Second Floor Plan



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Perlow Residence
11 Ruby Avenue
Marshfield, MA

Proposed Second Floor Plan

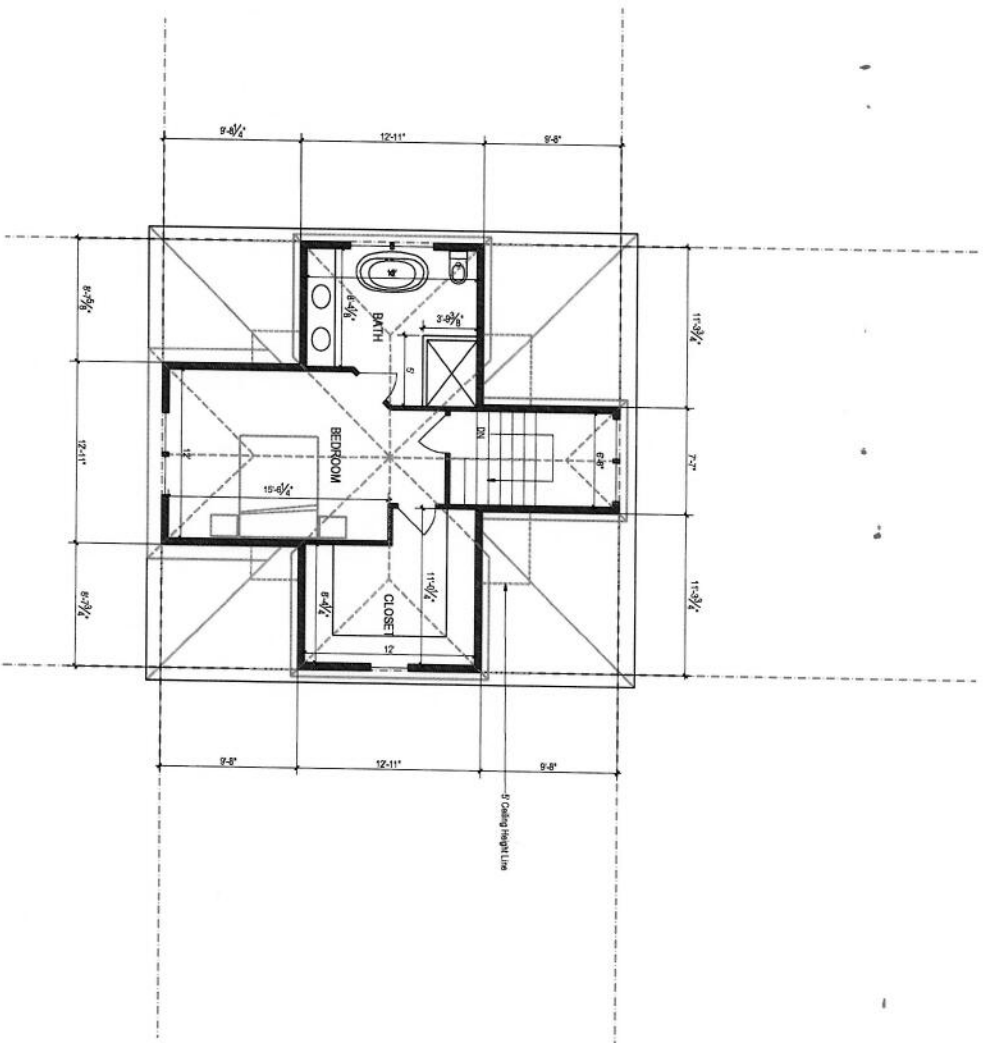
REVISION DATE:
2022 05 11 ZBA Set

PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Footings of Existing to Remain

NOTE: ORIGINAL DRAWING SET TO SHOW FULL SCALE

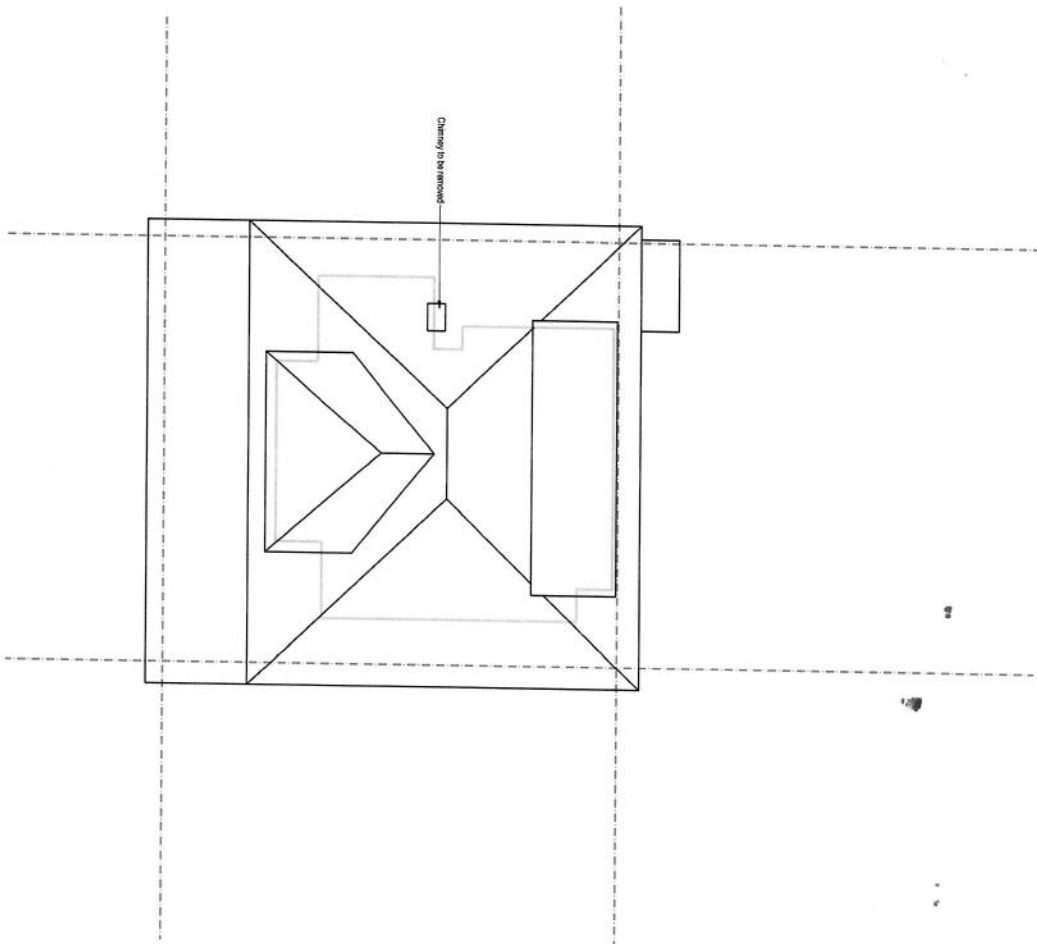
3



① **Attic Plan**
 Scale: 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

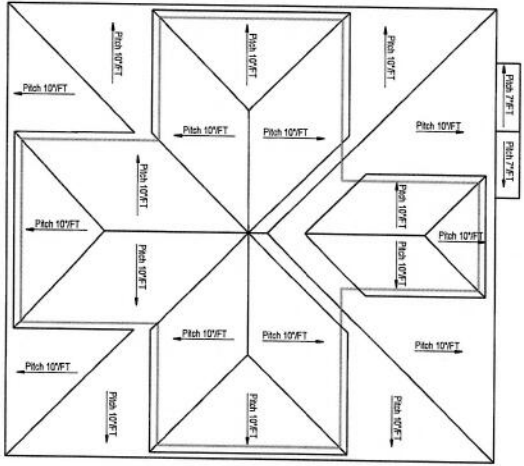
<p>NOTE: ORIGINAL DRAWING SET IS NON-SCALE</p> <p>4</p>	<p>Perlow Residence 11 Ruby Avenue Marshfield, MA</p> <p>Proposed Attic Plan</p>	<p>NOT FOR CONSTRUCTION</p>	<p>REVISION DATE: 2022 05 11 ZBA Set</p>	<p>PLAN WALL LEGEND</p> <ul style="list-style-type: none"> Proposed Solid Walls Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls Notes of Figures to Exterior
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① **Roof Plan**
Scale: 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

PLAN WALL LEGEND - - - - - Proposed Steel Walls - - - - - Existing Walls to Remain - - - - - Existing Walls to be Removed - - - - - Proposed Concrete Walls ▲ Points of Egress to Exterior		REVISION DATE 2022 05 11 ZSA Set
NOT FOR CONSTRUCTION		
Perlow Residence 11 Ruby Avenue Marshfield, MA		
Existing Roof Plan		
NOTE: ORIGINAL DRAWING SET TO SCALE: 1/8" = 1'-0"		PAGE NO. x5

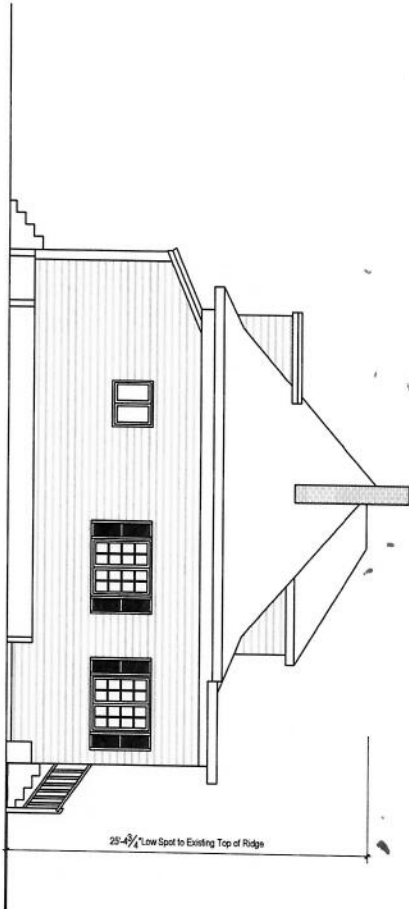


1 Roof Plan
 Scale: 1/8" = 1'-0"

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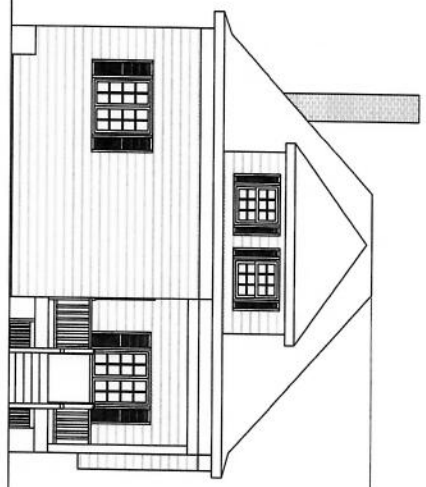
<p>NOT FOR CONSTRUCTION</p> <p> Perlow Residence 11 Ruby Avenue Mattituck, MA Proposed Roof Plan </p>	<p> PLAN WALL LEGEND Proposed Sawn Walls Existing Walls to Remain Existing Walls to be Removed Proposed Concrete Walls Points of Egress to Exterior </p>	<p> REVISION DATE: 2022 05 11 ZBA Set </p>	<p> NOTE: CHECK DRAWING SET TO REPAIR ALL ERRORS </p>	<p> PAGE NO. 5 </p>
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① Side Elevation
Scale: 1/8" = 1'-0"




25'-4 1/4" Low Spot to Existing Top of Ridge

② Front Elevation
Scale: 1/8" = 1'-0"

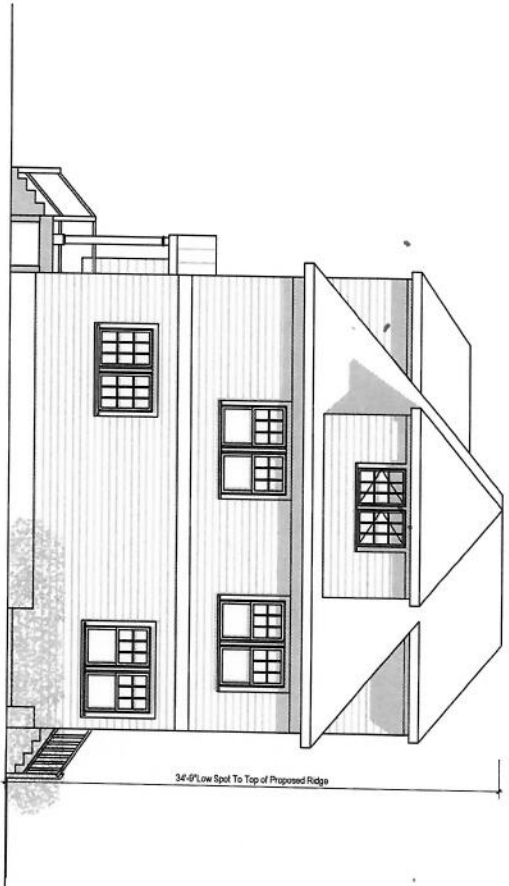


25'-4 1/4" Low Spot to Existing Top of Ridge

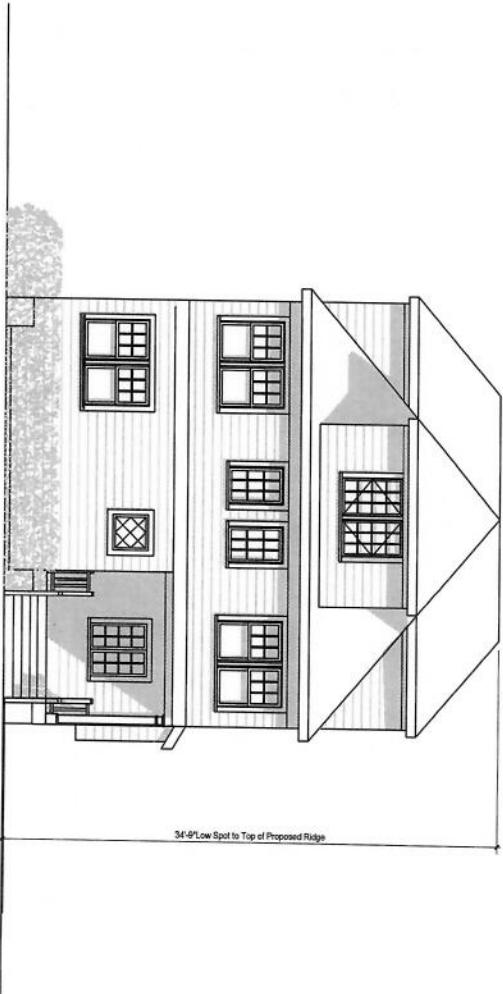
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<p>REVISION DATE: 2022 05 11 ZBA SH</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Perlow Residence 11 Ruby Avenue Marshfield, MA</p>	
<p>Existing Building Elevations</p>	
<p>NOTE: ORIGINAL DRAWING SET TO ARCHITECT SCALE</p>	<p>PAGE NO. x6</p>


① Side Elevation
Scale: 1/8" = 1'-0"



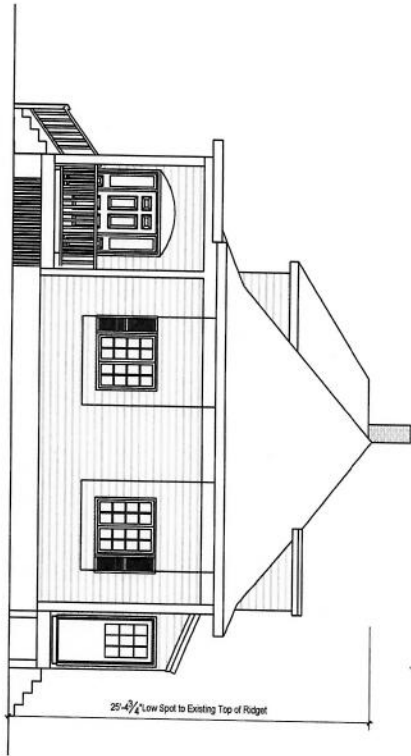
② Front Elevation
Scale: 1/8" = 1'-0"



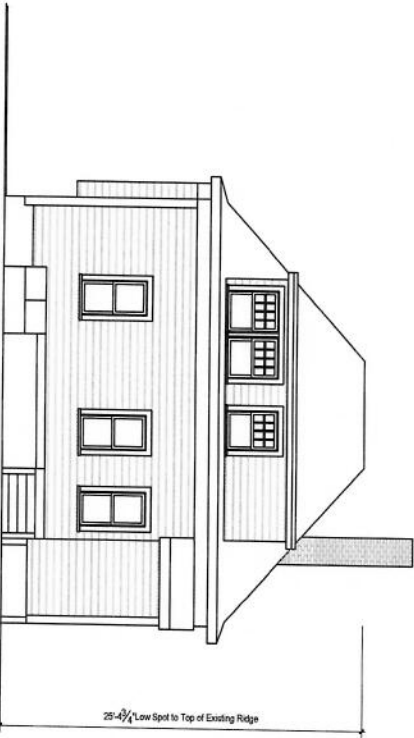
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<p>Perlow Residence 11 Ruby Avenue Marshfield, MA</p>	
<p>Proposed Building Elevations</p>	
<p>NOTE: DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE</p>	<p>PAGE NO.: 6</p>

① Side Elevation
Scale: 1/8"=1'-0"



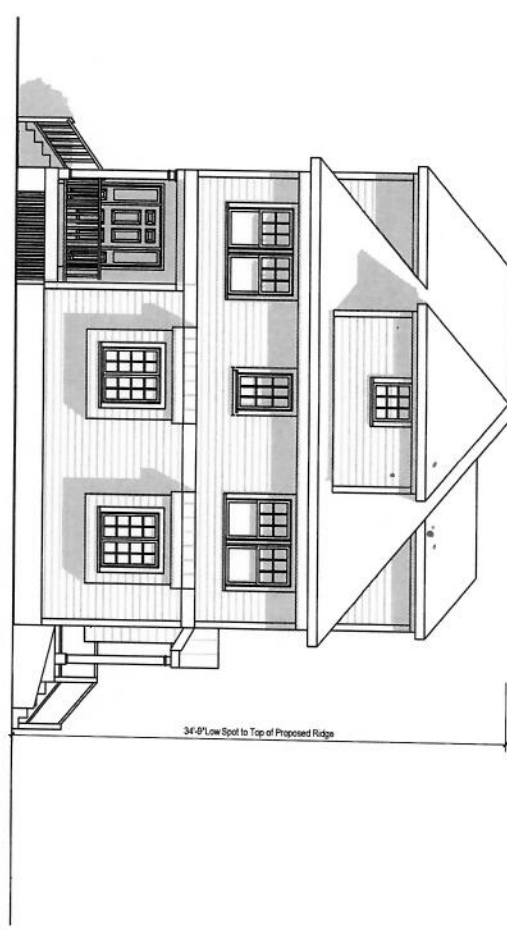
② Back Elevation
Scale: 1/8"=1'-0"



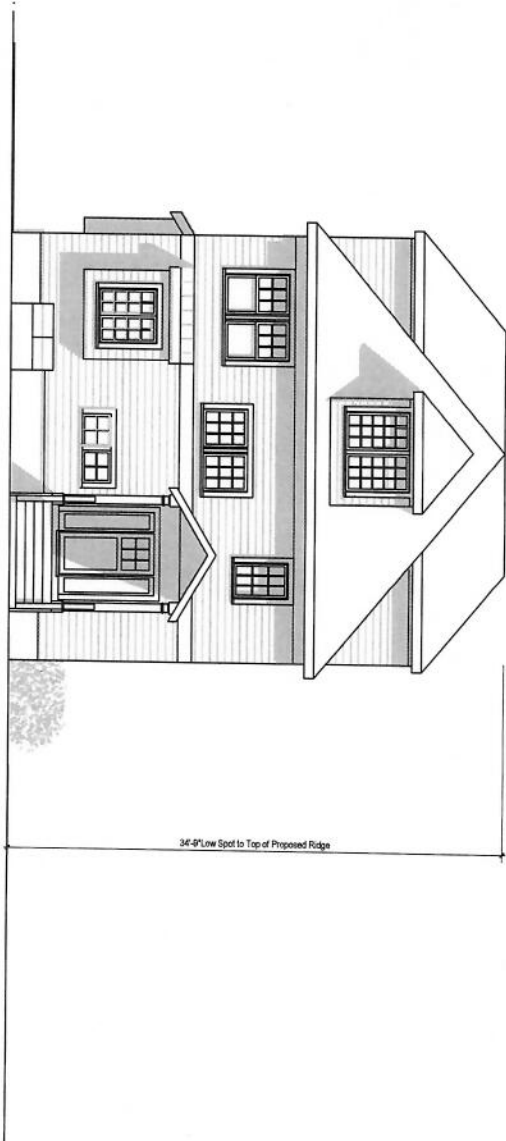
DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

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① Side Elevation
Scale: 1/8" = 1'-0"



② Back Elevation
Scale: 1/8" = 1'-0"



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<p>REVISIONS: 2022 05 11 23A-S&L</p>	
<p>NOT FOR CONSTRUCTION</p>	
<p>Perlow Residence 11 Ruby Avenue Marblehead, MA</p>	
<p>Proposed Building Elevations</p>	
<p>NOTE: DIMENSIONS SHOWN ARE TO FACE UNLESS NOTED OTHERWISE</p>	<p>7</p>