

2021 APR 20 AM 9:16



TOWN SEAL  
tel: 781-631-1529

fax: 781-631-2617  
Revision Date: 12-02-20

Town of Marblehead  
**ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building  
7 Widger Road, Marblehead, MA 01945

**ZBA APPLICATION**

PAGE 1 of 3

Town Clerk

Project Address 19 CEDAR STREET

Assessor Map(s) 52 Parcel Number(s) 9

OWNER INFORMATION

Signature Sarah Meunier

date

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

Name (printed) Sarah Meunier

Address 19 Cedar ST

Phone Numbers: home 617-365-4124 work

E-mail fax

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 3-22-2021

Name (printed) Robert Ouellette

Address 58 Warren ST Ext Peabody, MA

Phone Numbers: home work 978-265-6033

E-mail RBCustom200@comcast.net fax 978-531-1483

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

\* Extend existing rear add<sup>n</sup> in side yard on lot w/less than req<sup>d</sup> area, width, Frontage, Side yard setbacks, tandem park<sup>g</sup> and shed in sideyard

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
  - the signed and stamped application (3 pages);
  - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
  - the project design plans as required;
  - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 4-16-21

2. Town Clerk's stamp (upper right corner)

Project Address 19 CEDAR ST

Map(s) / Parcel(s) 52/9

**ZONING DISTRICT** (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

**CURRENT USE** (explain) SINGLE FAMILY

**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)

Yes ☒ No ☐ (explain) \_\_\_\_\_

**PROPOSED CHANGE OF USE**

No ☒ Yes ☐ (explain) \_\_\_\_\_

**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes ☐ No ☒

**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

☒ Lot Area - Less than required (§200-7 and Table 2)

☒ Lot Width - Less than required (§200-7)

☒ Frontage - Less than required (§200-7 and Table 2)

☐ Front Yard Setback - Less than required (Table 2)

☐ Rear Yard Setback - Less than required (Table 2)

☒ Side Yard Setback - Less than required (Table 2)

☐ Height - Exceeds maximum allowed (§200-7 and Table 2)

☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

☒ Parking - Less than required; undersized tandem (§200-17 to §200-21) (circle all that apply)

☒ Other Non-conformities (explain) SHED IN SIDEYARD SETBACK

☐ No Existing Dimensional Non-conformities

**NEW DIMENSIONAL NON-CONFORMITIES** (check all that apply)

☐ Lot Area - Less than required (§200-7 and Table 2)

☐ Lot Width - Less than required (§200-7)

☐ Frontage - Less than required (§200-7 and Table 2)

☐ Front Yard Setback - Less than required (Table 2)

☐ Rear Yard Setback - Less than required (Table 2)

☒ Side Yard Setback - Less than required (Table 2)

☐ Height - Exceeds maximum allowed (§200-7 and Table 2)

☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)

☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)

☐ Other Non-conformities (explain) \_\_\_\_\_

☐ No New Dimensional Non-conformities

**ADDITIONAL HEARINGS REQUIRED**

Conservation Commission

Yes ☐ No ☒

Historic District Commission

Yes ☐ No ☒

Planning Board

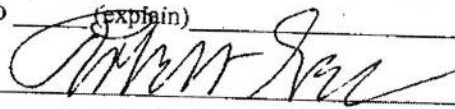
Yes ☐ No ☒

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Building Department  
For Zoning Board  
Of Appeals

**DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS** (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) \_\_\_\_\_

Building Official



Date 4-16-21

Town of Marblehead  
ZBA-APPLICATION  
Page 3 of 3

Revision Date: 12-02-2020

Project Address 19 CEDAR ST Map(s) / Parcel(s) 52/9

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

5000

5000

Area of features

footprint of accessory building(s)

48

48

footprint of building

930

1131

footprint of deck(s), porch(es), step(s), bulkhead(s)

74

89

number of required parking spaces 2 x (9' x 18' per space)

324

324

area of pond(s), or tidal area(s) below MHW

—

—

other areas (explain)

—

—

Sum of features = B

1376

1592

Net Open Area (NOA) = (A - B)

3624

3408

GROSS FLOOR AREA (GFA)

accessory structure(s)

48

48

basement or cellar (area > 5' in height)

808

808

1st floor (12' or less in height) NOTE: [for heights exceeding

930

1131

2nd floor (12' or less in height)

12' see definition

808

808

3rd floor (12' or less in height)

of STORY §200-7]

—

—

4th floor (12' or less in height)

—

—

attic (area > 5' in height)

—

—

area under deck (if > 5' in height)

—

—

roofed porch(es)

6

6

Gross Floor Area (GFA) = sum of the above areas

2600

2801

Proposed total change in GFA = (proposed GFA - existing GFA) = 201

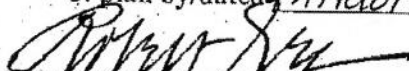
Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 7.73 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1.39

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1.22

This worksheet applies 1. plan by/dated WILLIAM FRANGOS ARCH 3-24-2021  
to the following plan(s): 2. plan by/dated DAVID TERENCEZONI SURVEY 4-13-2024  
3. plan by/dated PATRIOT PROPERTIES

Building Official



Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

4-16-21

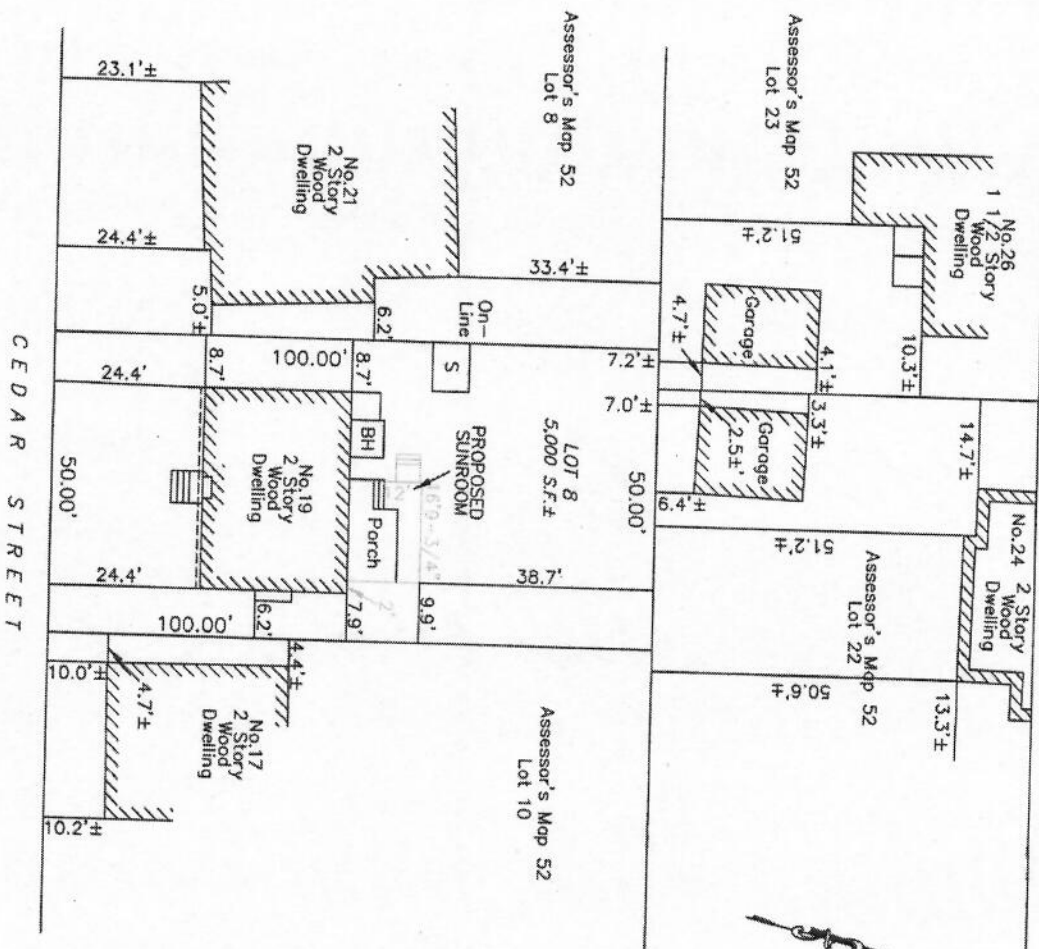
**ZONING DISTRICT:**  
**SINGLE RESIDENCE**

MINIMUM LOT AREA -	10,000 S.F.
FRONTAGE -	100'
FRONT YARD -	20'
SIDE YARD -	15'
REAR YARD -	15'
BUILDING HEIGHT -	35'



STEPHEN & SARAH MEUNIER  
19 CEDAR STREET

SCALE: 1"=20' DATE: APRIL 13, 2021  
DAVID P. TERENCE, P.L.S.  
4 ALLEN ROAD, PEABODY, MA. 01960



Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

William Frangos  
Architect  
100 Cambridge Center, Suite 400-4  
Boston, MA 02142-5411  
617 337 1419  
978 327 1417 fax

# 19 CEDAR STREET: PROPOSED ADDITION & ALTERATIONS

MARBLEHEAD MASSACHUSETTS 01945

## DRAWING LIST

Sheet Number	Sheet Name	Sheet Page Number
G-001	Drawing List	1
EC-101	EXISTING CONDITIONS - Plans	2
EC-201	EXISTING CONDITIONS - Elevations	3
A-101	PROPOSED - 0.1 Floor & 2.0 Roof Plan	4
A-201	PROPOSED - Elevations	5

### NOTE WELL:

11 X 17 SHEETS, PRINTED AT 50-PERCENT OF FINAL 1/4-INCH SCALE 22 X 34 SHEET FORMAT THUS AS-PRINTED 11 X 17 DRAWING SCALE AT 1/8" = 1'-0" (VERIFY W/ GRAPHIC SCALE ON SHEETS)

## PROGRESS PRINT

NOT FOR CONSTRUCTION

PROJECT  
19 CEDAR ST.  
PROPOSED  
ADDITION &  
ALTERATIONS

MARBLEHEAD MA 01945

OWNER	SARAH BELMERE
REVISION SCHEDULE	No Date Description

Project Name	DESIGN
Eng Issue Date	N/A
Project No.	2020 14
DATE/SCALE	William Frangos Architect 2021
SHEET TITLE	Drawing List

SHEET ISSUE DATE 3/24/2021

G-001

SHEET 1 OF 5



Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

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909 927 9417 fax

CONSULTANTS

PROGRESS  
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PROJECT  
19 CEDAR ST.  
PROPOSED  
ADDITION &  
ALTERATIONS

MARLBOROUGH, MA 01946

OWNER

SARAH McLENNANE

REVISION SCHEDULE

No. Date Description

Project Phase DESIGN

1919 State Street, RFA

Completed 2020 14

William Frangos Architect, P.C.

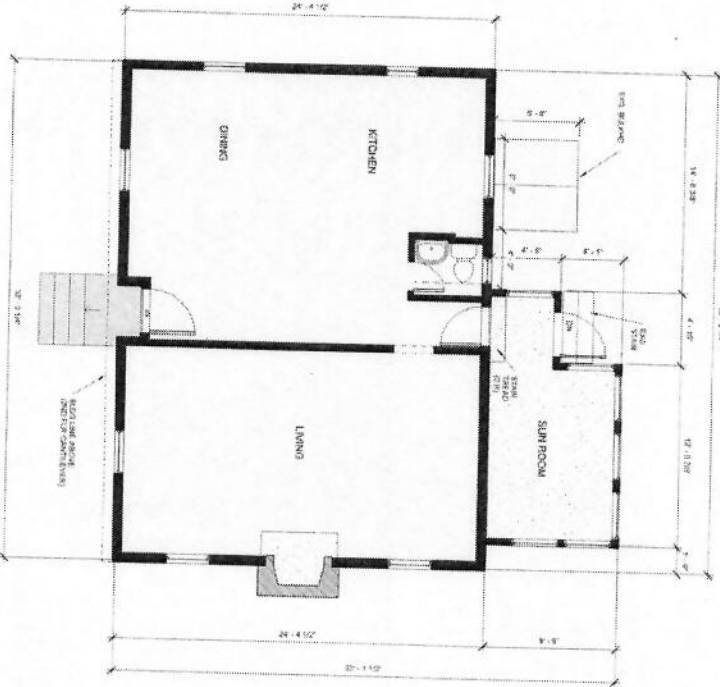
SHEET TITLE

EXISTING  
CONDITIONS -  
Plans

SHEET DATE 3/24/2021

EC-101

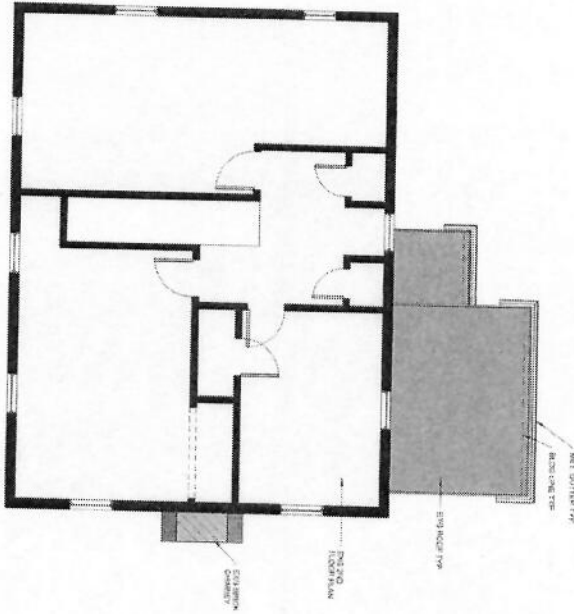
SHEET 2 OF 5



1 10 R.R. EC  
1/4" = 1'-0"

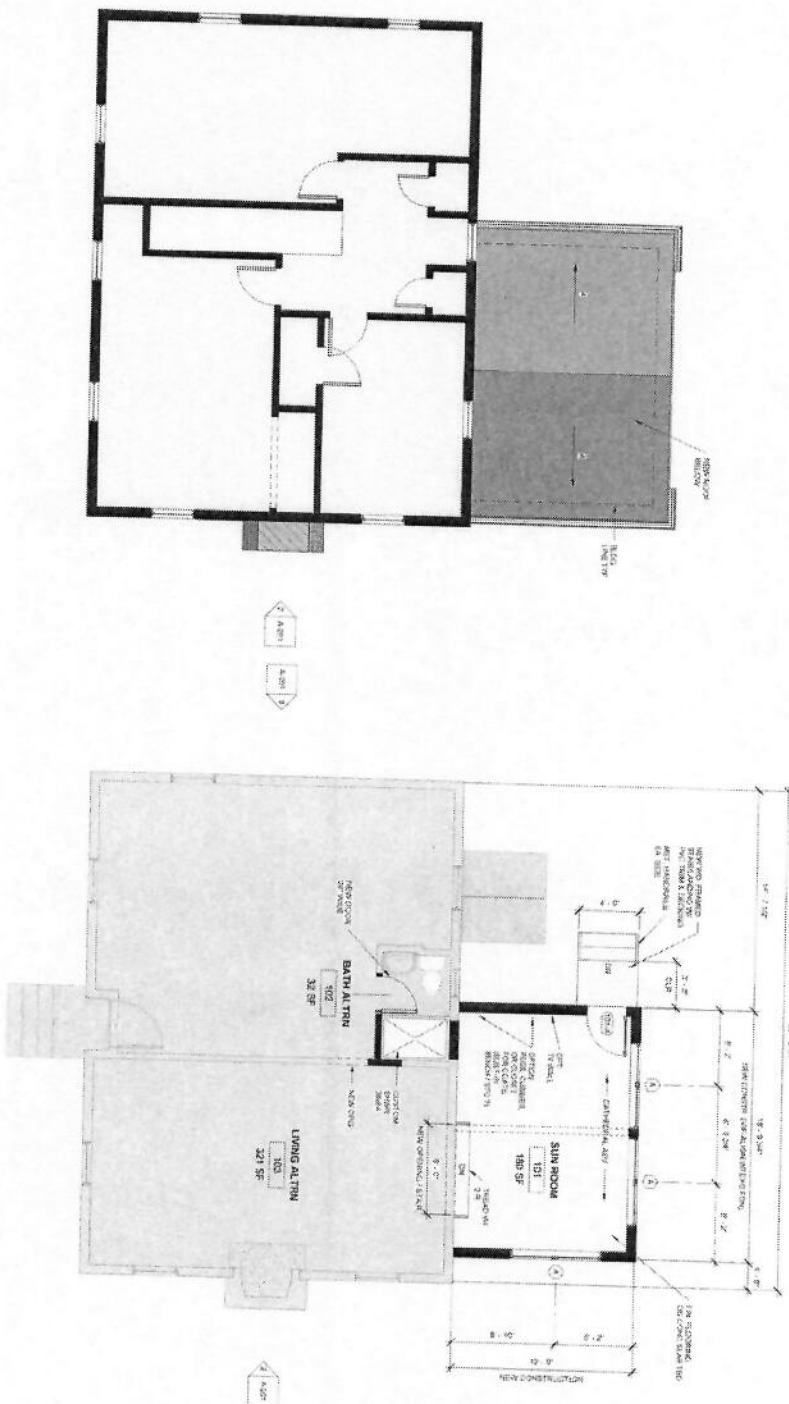


2 10 R.R. EC  
1/4" = 1'-0"



2.0 ROOF  
1/4" = 1'-0"

0.1 FLOOR  
1/4" = 1'-0"



Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

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Architect

100 Cummings Center, Suite 436-D  
Beverly Hills, CA 91605-0111  
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916 927 9417 fax

CONTRACTS

PROGRESS  
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PROJECT  
19 CEDAR ST.  
PROPOSED  
ADDITION &  
ALTERATIONS

MANUELLEO MA 01845

OWNER  
SARAH WELLS

REVISION SCHEDULE

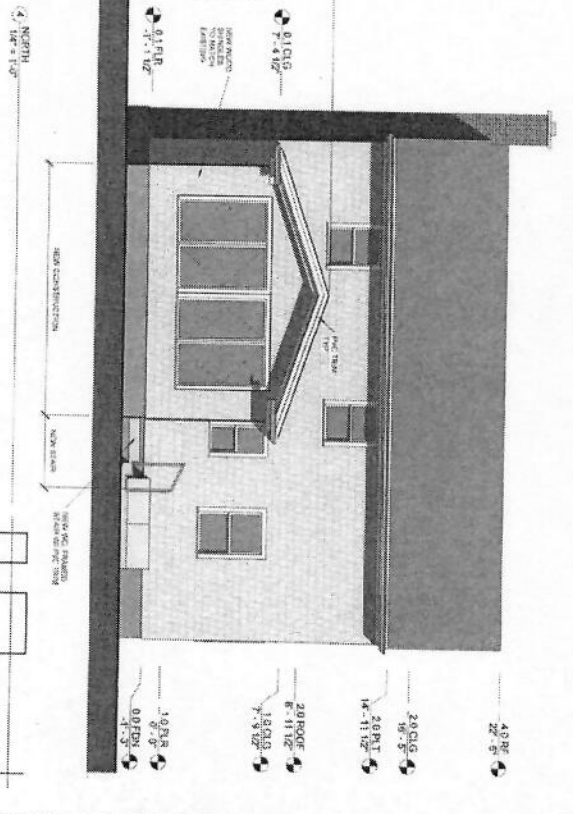
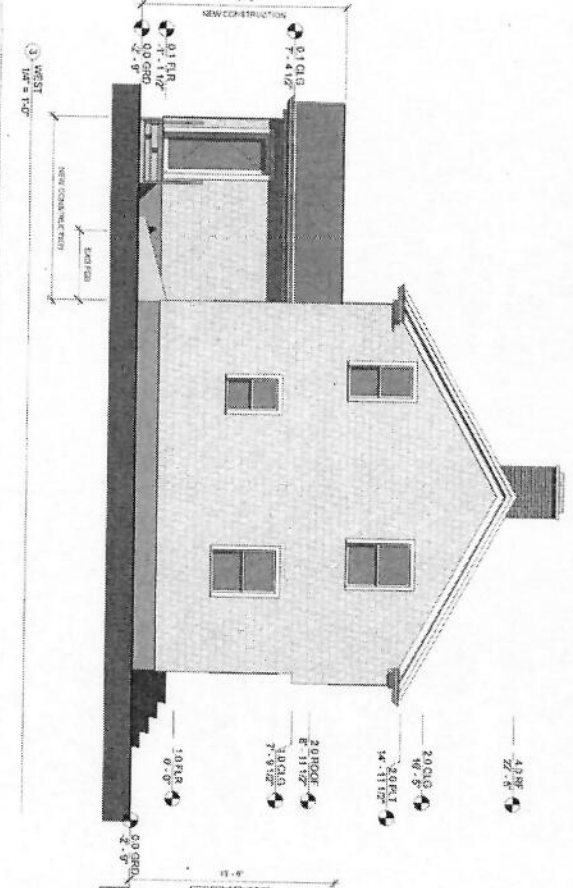
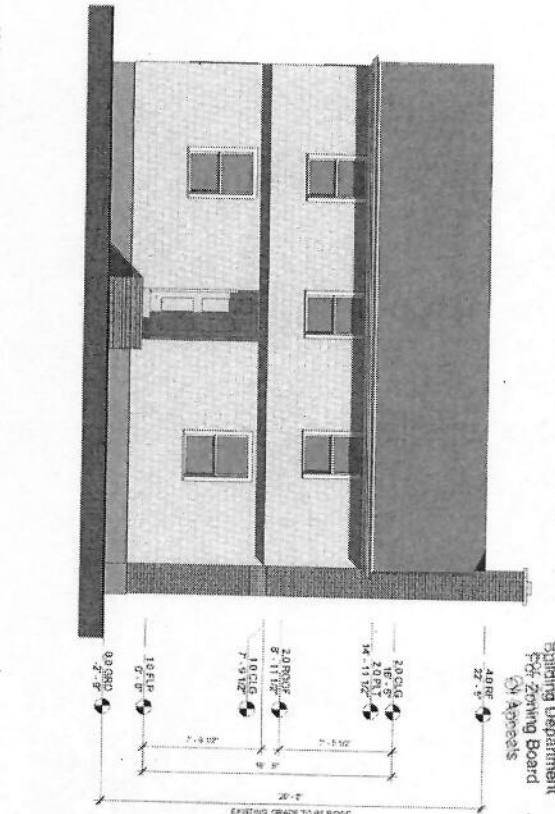
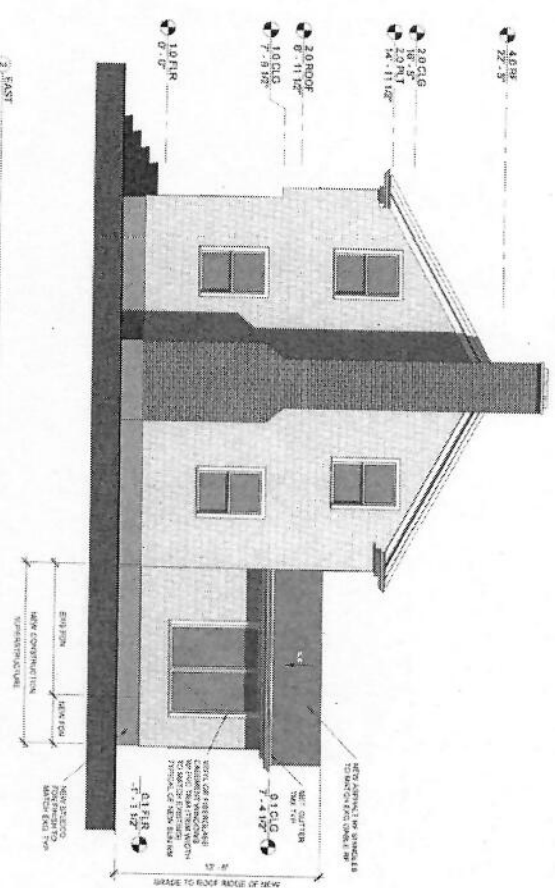
NO. DATE DESCRIPTION

Project Phase DESIGN  
Approval Date N/A  
Project No. 2020 14  
CONTRACTOR William Frangos Architect 2021

SHEET TITLE  
PROPOSED - 0.1  
Floor & 2.0 Roof  
Plan

SHEET ISSUE DATE 2/24/2021

SHEET A-101  
OF 5



Reviewed by  
Building Department  
City of Annapolis  
On Appeal

William Frangos  
Architect

100 Cambridge Center, Suite 400-6  
Baltimore, MD 21202-4111  
410.527.7418  
410.527.7417 fax

**PROGRESS  
PRINT**

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PROJECT:  
19 CEDAR ST.  
PROPOSED  
ADDITION &  
ALTERATIONS

MARSH HEAD VA 01945

OWNER:  
SARAH MEINER

REVISIONS  
No. Date Description

DESIGN  
Project Name: 19 CEDAR ST.  
Project No.: 2001-14  
Client: SARAH MEINER  
Architect: William Frangos Architect, P.C.  
SHEET TITLE  
**PROPOSED -  
Elevations**

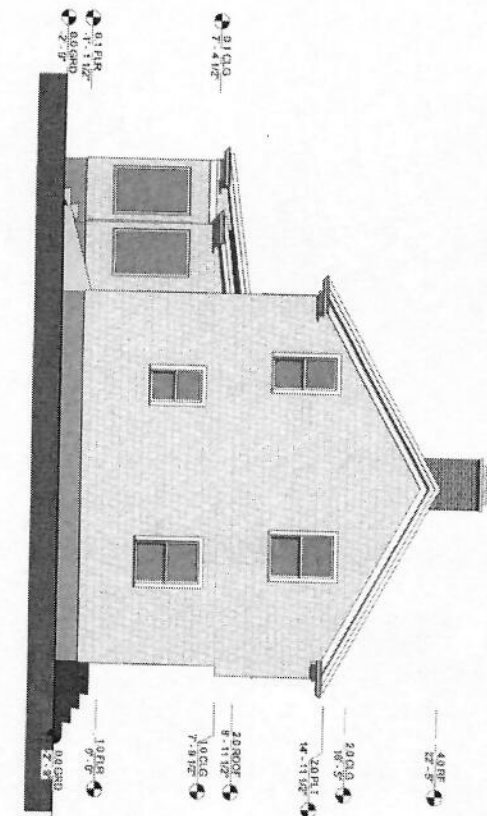
SHEET ISSUED DATE: 3/24/2021

**A-201**

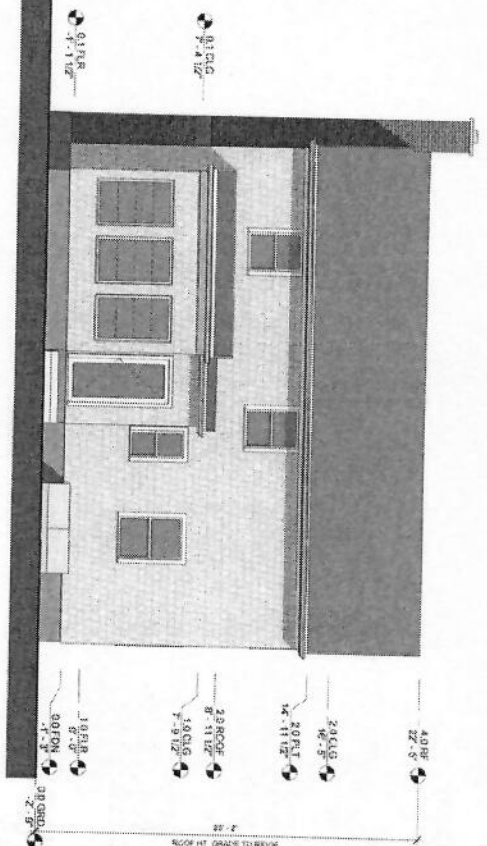
SHEET 5 OF 6



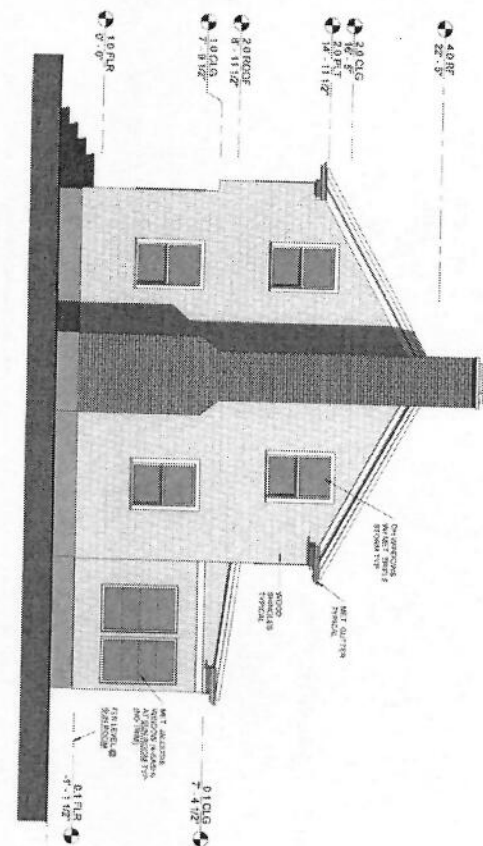
3 WEST-EC  
14' x 1'-0"



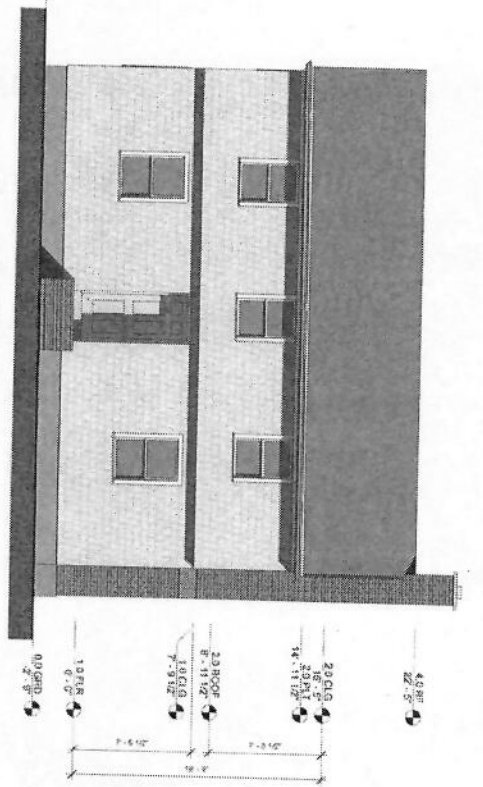
4 NORTH-EC  
14' x 1'-0"



2 EAST-EC  
14' x 1'-0"



1 SOUTH-FACADE-EC  
14' x 1'-0"



Reviewed by  
Building Department  
For Zoning Board  
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CONSULTANTS

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PROJECT  
19 CEDAR ST.  
PROPOSED  
ADDITION &  
ALTERATIONS

MADEIRHEAD MA 01948

OWNER	
SARAH BELLEVILLE	
DESIGN SCHEMATIC	
No.	Date
1	2/20/21

PROJECT PHASE	
DESIGN	
Project Name	19A MA
Project No.	2020 14
Client/Owner	William Frangos Architect, 2021

SHEET TITLE  
EXISTING  
CONDITIONS -  
Elevations

SHEET ISSUE DATE 3/24/2021

EC-201

SHEET 3 OF 5