



TOWN SEAL

tel: 781-631-1529

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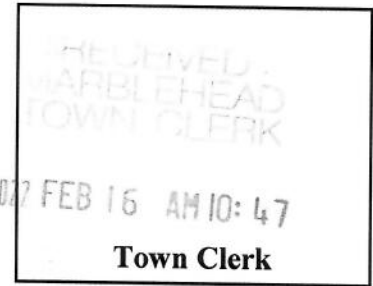
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 15 Roosevelt Avenue

Assessor Map(s) 135 Parcel Number(s) 26

OWNER INFORMATION

Signature _____ date _____

Name (printed) Loretta Lang

Address 15 Roosevelt Avenue, Marblehead, MA 01945

Phone Numbers: home 617-312-1822 work _____

E-mail langloretta@aol.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 2-11-22

Name (printed) Loretta Lang

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home Cell 781-704-8559 work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct an addition to an existing non conforming single family dwelling on a lot with less than the required lot area, frontage front and side yard setbacks and less than the required open area. The addition will exceed the allowed 10 % expansion.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 2/16/22

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org

Reviewed by
Building Department
Zoning Board
of Appeals

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 15 Roosevelt Avenue

Map(s) / Parcel(s) 135/26

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR **SR** SSR ESR SESR HBR U SU

CURRENT USE (explain) Single Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
☒ Lot Width - Less than required (§200-7)
☒ Frontage - Less than required (§200-7 and Table 2)
☒ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
☒ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☐ Other Non-conformities (explain) _____
☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
☐ Lot Width - Less than required (§200-7)
☐ Frontage - Less than required (§200-7 and Table 2)
☐ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
☒ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☒ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
☐ Other Non-conformities (explain) _____
☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Historic District Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

Reviewed by
Building Department
For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official _____

Date 2-16-2022

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 15 Roosevelt Avenue

Map(s) / Parcel(s) 135/26

NET OPEN AREA (NOA)

	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	4,125	4,125
Area of features		
footprint of accessory building(s)	256	256
footprint of building	864	1,144
footprint of deck(s), porch(es), step(s), bulkhead(s)	360	138
number of required parking spaces <u>2</u> x (9' x 18' per space)	324	324
area of pond(s), or tidal area(s) below MHW	0	0
other areas (explain) _____	0	0
Sum of features = B	1,804	1,862
Net Open Area (NOA) = (A - B)	2,321	2,262

GROSS FLOOR AREA (GFA)

accessory structure(s)	256	256
basement or cellar (area >5' in height)	663	663
1st floor (12' or less in height) NOTE: [for heights exceeding	786	1,066
2nd floor (12' or less in height) 12' see definition	663	943
3rd floor (12' or less in height) of STORY §200-7]	0	0
4th floor (12' or less in height)	0	0
attic (area >5' in height)	0	0
area under deck (if >5' in height)	0	0
roofed porch(es)	0	0
Gross Floor Area (GFA) = sum of the above areas	2,368	2,928

Proposed total change in GFA = (proposed GFA - existing GFA) = 560

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 24 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1: .98

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1: .77

This worksheet applies 1. plan by/dated Twomey Design 2/14/2022
 to the following plan(s): 2. plan by/dated Stephen M. Melesciuc 2/10/2022
 3. plan by/dated _____

Building Official _____

Date 2-16-2022

Reviewed by
 Building Department
 For Zoning Board
 Of Appeals

OWNER OF RECORD
LORETTA LANG
15 ROOSEVELT AVE
MARBLEHEAD, MA

DEED REFERENCE
DEED BK 30889 PAGE 314

PLAN REFERENCE
LOT 22
BOOK 1614 PAGE 357
DATED JUNE 29, 1900

TOWN OF MARBLEHEAD
ASSESSORS MAP 135 PARCEL 26

N/F
LISANNE LOUDEN
& CYNTHIA A WILKINS, TRS
LOUDEN-WILKINS FAMILY TRUST OF 2012
#18 CURTIS STREET
MAP 135 LOT 38

N/F
ANDREW & JENNIFER
MCISAAC
#16 CURTIS STREET
MAP 135 LOT 37

N/F
JOHN & MEGHAN
MOORADIAN
#14 CURTIS STREET
MAP 135 LOT 37A

GROSS FLOOR AREA EXISTING
BASEMENT 663 S.F.
1ST FLOOR 867 S.F.
2ND FLOOR 663 S.F.
ATTIC 60 S.F.
GARAGE 256 S.F.
TOTAL 2,509 S.F.

OPEN AREA EXISTING
LOT AREA 4,125 S.F.
-1,255 S.F. BLDG FOOTPRINT
-256 S.F. GARAGE
TOTAL 2,614 S.F.

OPEN AREA PROPOSED
LOT AREA 4,125 S.F.
-1,255 S.F. BLDG FOOTPRINT
-256 S.F. GARAGE
-26 S.F. PROPOSED LANDING
TOTAL 2,588 S.F.

DRIVEWAY AREA 445 S.F.

PROPOSED
ADDITION
18' X 20'

N/F
MICHAEL & NANCY HILL
#19 ROOSEVELT AVE
MAP 135 LOT 25



N42°15'00"W 100.00' HELD

TO I.ROD FND

ZONE: SR

REQUIRED

LOT AREA:

LOT FRONTAGE:

MINIMUM SETBACKS:

MIN OPEN AREA:

MAX BLDG HEIGHT:

10,000 S.F.

100'

FRONT 20'

SIDE 15'

REAR 15'

GREATER OF

1' S.F./GROSS FLOOR AREA

OR 400 S.F. = 2,509 S.F.

35'

EXISTING

LOT AREA:

LOT FRONTAGE:

SETBACKS:

OPEN AREA:

BLDG HEIGHT:

4,125 S.F.

50.00'

FRONT 7.3'

SIDE 6.0' DECK

REAR 30.8' DECK

2,614 S.F.

30.96'

PROPOSED

SETBACKS:

FRONT 7.3'

SIDE 6.2' PROPOSED

REAR 31.2' PROPOSED

OPEN AREA:

BLDG HEIGHT:

2,614 S.F.

30.96'

STRUCTURES SHOWN WERE LOCATED BY AN INSTRUMENT SURVEY.

ACCORDING TO FEMA FLOOD INSURANCE RATE MAP NO. 25009C0438G WITH EFFECTIVE DATE OF 7/6/14 THE SUBJECT PROPERTY IS NOT LOCATED IN AN ESTABLISHED 100 YEAR FLOOD HAZARD ZONE.

THE LOCATION OF THE UNDERGROUND UTILITIES SHOWN ON THIS PLAN ARE BASED UPON RECORD INFORMATION PROVIDED TO THE SURVEYOR AND SHALL BE CONSIDERED APPROXIMATE. NOT ALL UNDERGROUND UTILITIES THAT MAY EXIST ON THE SITE ARE SHOWN. DIGSAFE SHALL BE NOTIFIED PRIOR TO ANY EXCAVATIONS.

PROPOSED ADDITION

ASSESSORS MAP 135 PARCEL 26

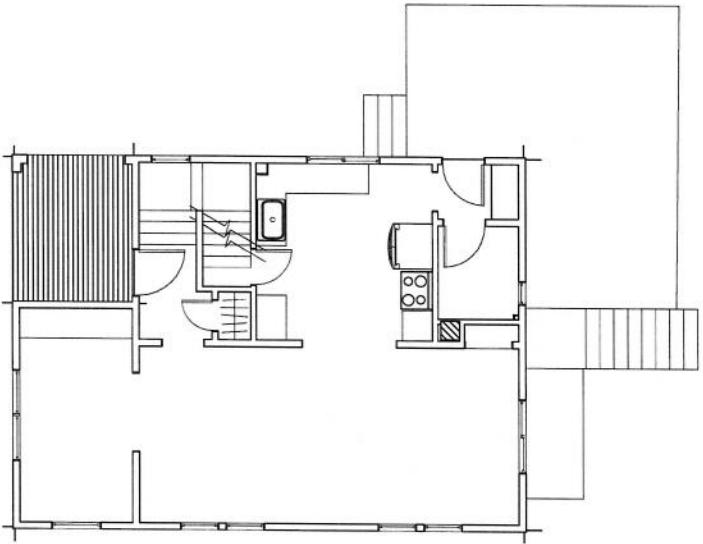
15 ROOSEVELT AVENUE
MARBLEHEAD, MA

PREPARED FOR
LORETTA LANG
15 ROOSEVELT AVE
MARBLEHEAD, MA

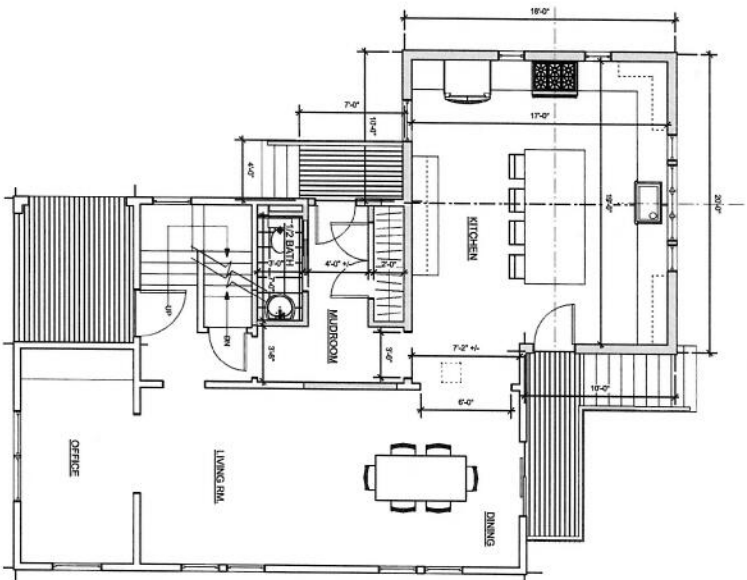
STEPHEN M. MELESCIUC
PROFESSIONAL LAND SURVEYOR #39049
514 GAZEBO CIRCLE
READING, MA 01867
(781)844-7108

SCALE: 1"=10'

DATE: FEBRUARY 8, 2022

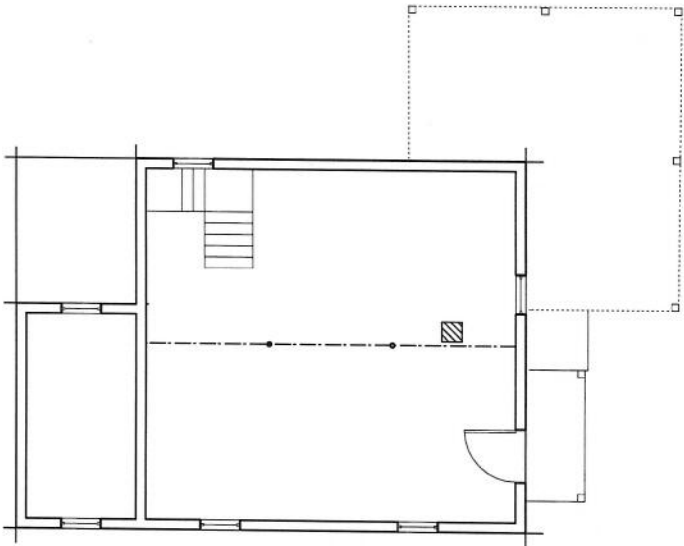


1 EXISTING FIRST FLOOR
Scale: 1/8" = 1'-0"

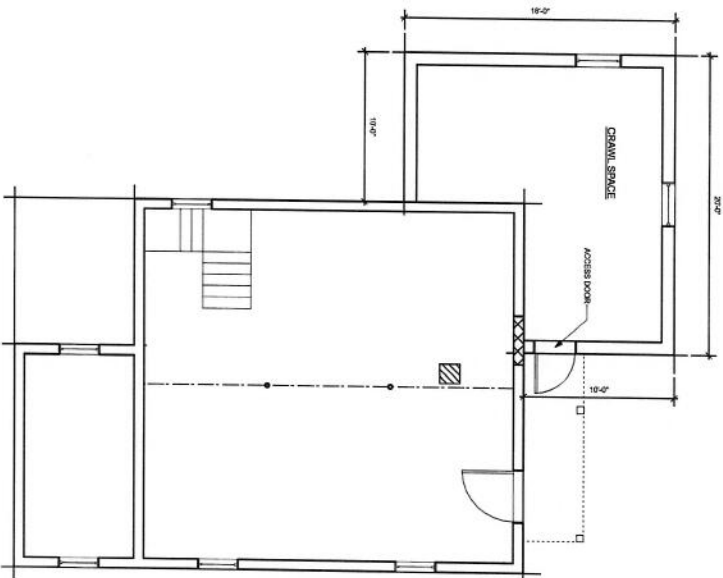


1 PROPOSED FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Roosevelt Ave., Marblehead
23 California Road Reading, MA 01867 (781) 942-0146	Sheet Title: First Floor Plans Date: 2.13.22 Sheet No. 1 of 7 © 2022 Nancy J. Twomey

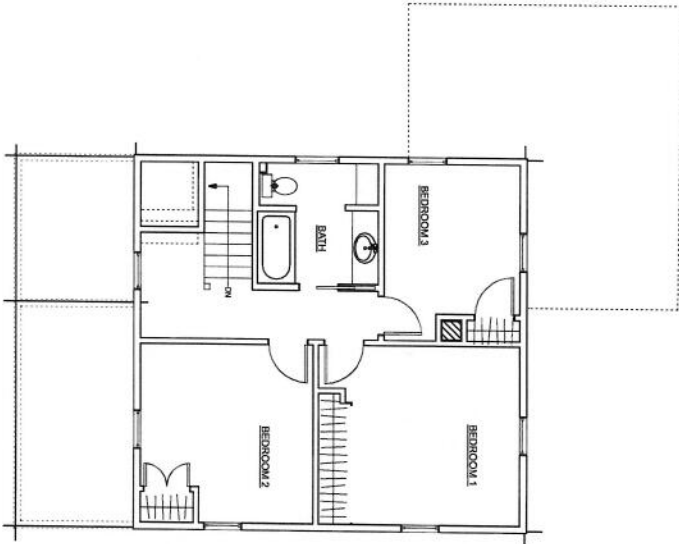


B EXISTING BASEMENT PLAN
Scale: 1/8" = 1'-0"

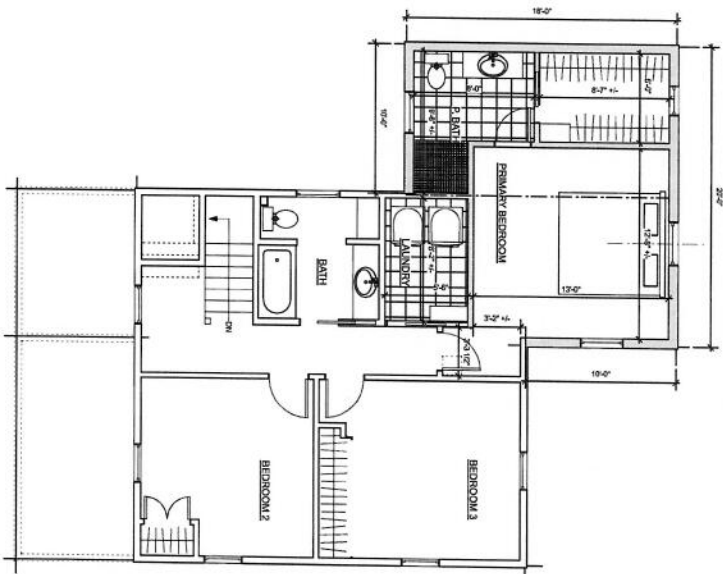


B PROPOSED BASEMENT PLAN
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Roosevelt Ave., Marshfield
Sheet Title: Basement Plans Date: 2.14.22	Sheet No. 2 of 7
23 California Road Reading, MA 01867 (781) 942-0146	© 2022 Nancy J. Twomey

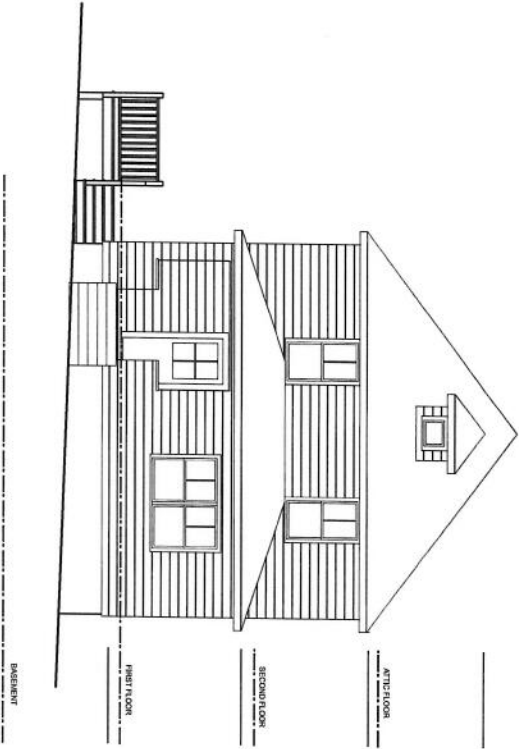


2 EXISTING SECOND FLOOR PLAN
Scale: 1/8" = 1'-0"

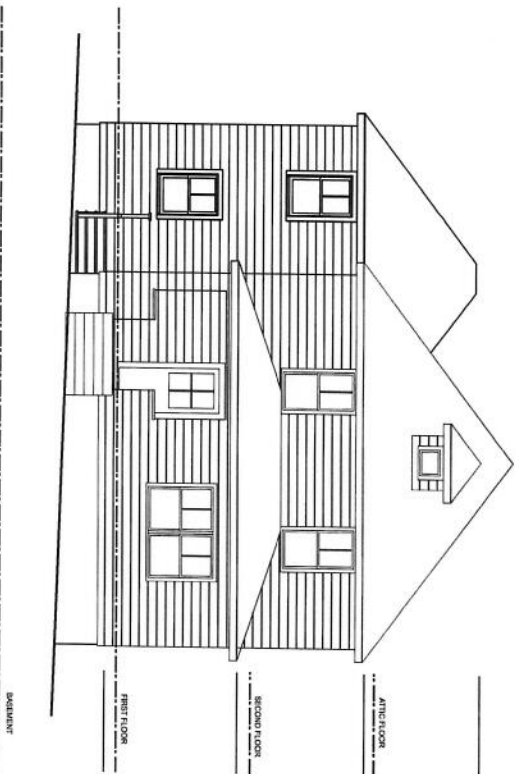


2 PROPOSED SECOND FLOOR
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LAND RESIDENCE 15 Roosevelt Ave., Haverhill Sheet Title: Second Floor Plans
23 California Road Reading, MA 01867 (781) 942-0146	Date: 2.13.22 Sheet No. 3 of 7 © 2022 Nancy L. Twomey

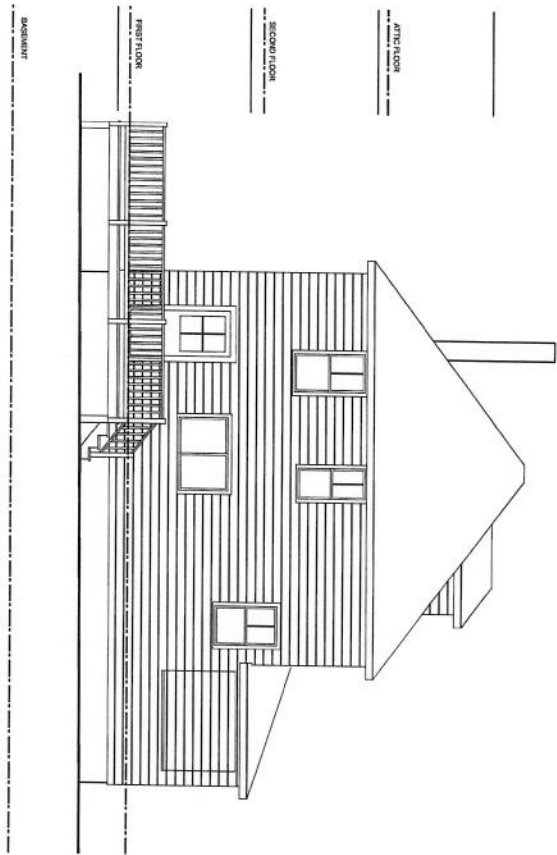


F **EXISTING FRONT ELEVATION**
Scale: 1/8" = 1'-0"

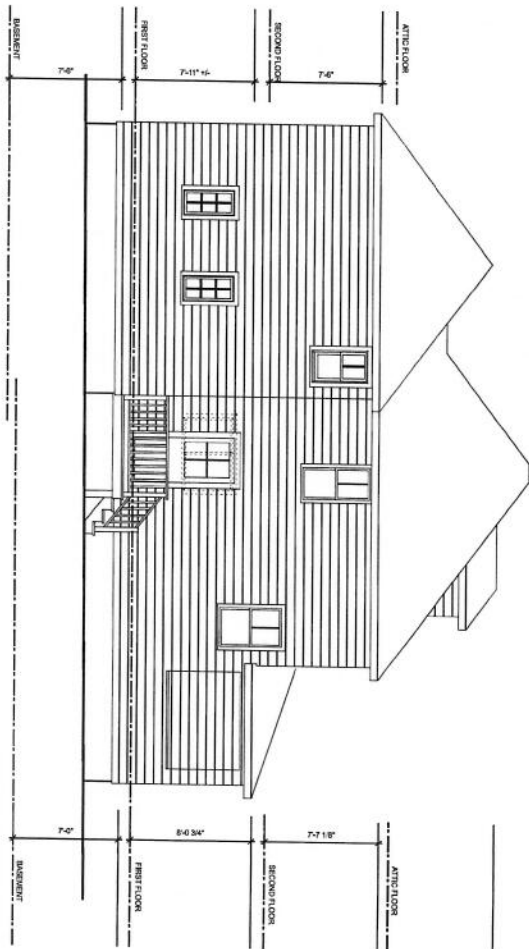


F **PROPOSED FRONT ELEVATION**
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Rosewell Ave., Rensselaer
Sheet Title: Front Elevations	Date: 2.13.22
23 California Road Reading, MA 01867 (781) 942-0146	Sheet No. 4 of 7
© 2022 Nancy L. Twomey	

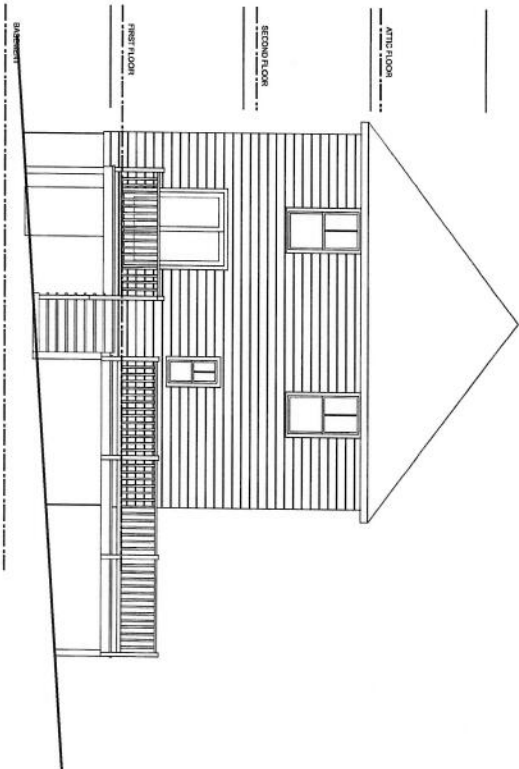


S EXISTING SIDE ELEVATION
Scale: 1/8" = 1'-0"

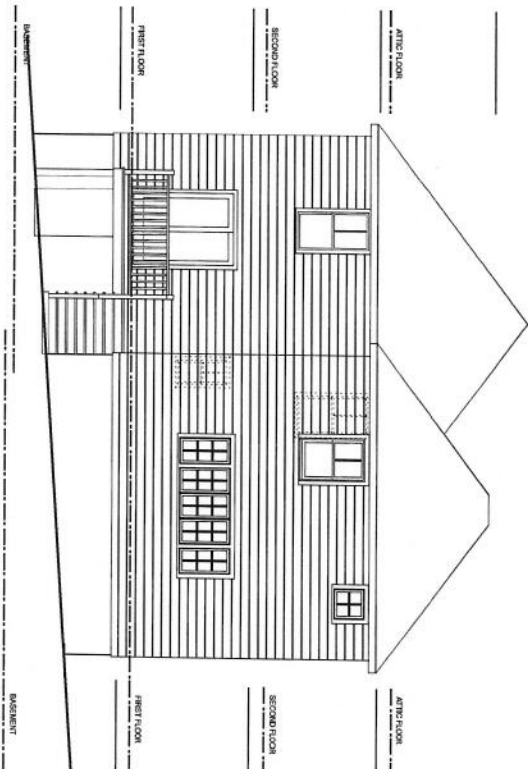


1 PROPOSED SIDE ELEVATION
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Roosevelt Ave., Marshfield
Date: 2.13.22	Sheet No. 5 of 7
23 California Road Reading, MA 01867 (781) 942-0146	© 2022 Nancy J. Twomey

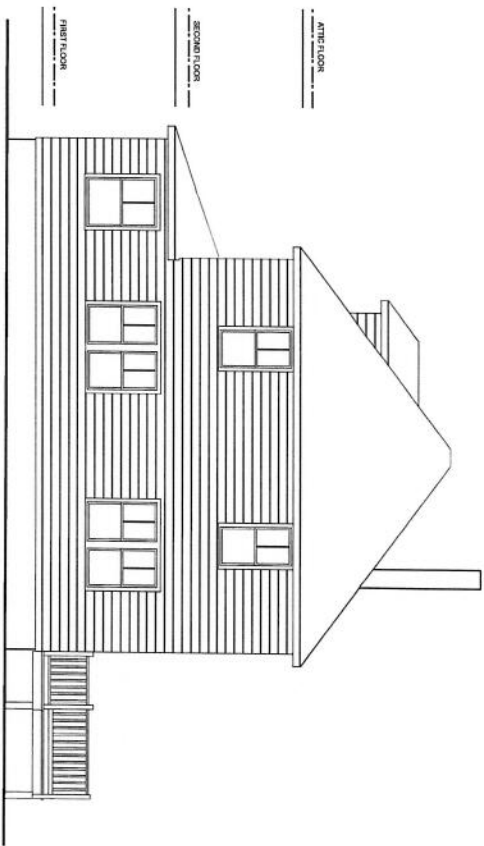


R **EXISTING REAR ELEVATION**
Scale: 1/8" = 1'-0"

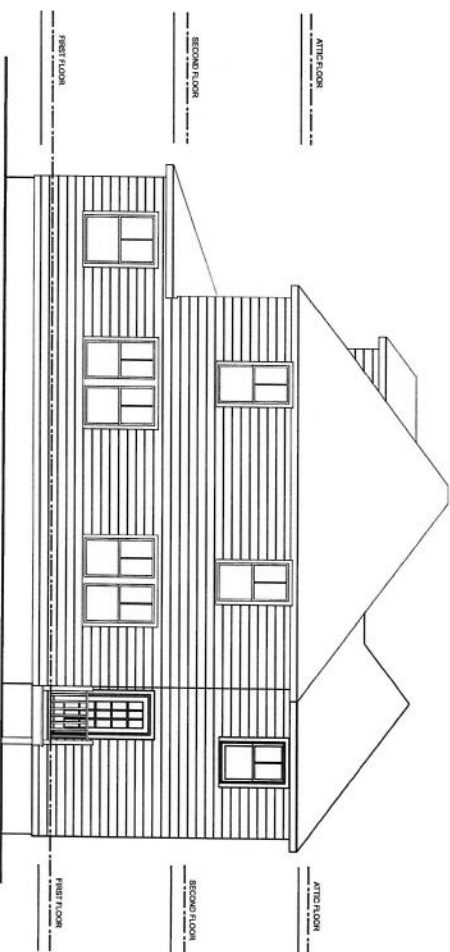


R **PROPOSED REAR ELEVATION**
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Roosevelt Ave., Hingham
Sheet Title: Rear Elevations	Date: 2.13.22
Sheet No. 6 of 7	© 2022 Nancy J. Twomey



DR EXISTING DRIVEWAY SIDE ELEVATION
Scale: 1/8" = 1'-0"



DR PROPOSED DRIVEWAY SIDE ELEVATION
Scale: 1/8" = 1'-0"

TWOMEY DESIGN	LANG RESIDENCE 15 Roosevelt Ave., Methuen
23 California Road Reading, MA 01867 (781) 942-0146	Sheet Title: Driveway Side Elevations Date: 2.13.22 Sheet No. 7 of 7 © 2022 Nancy A. Twomey