



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 10-1-15

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3

RECEIVED
MARBLEHEAD
TOWN CLERK

2021 MAY 20 AM 9:50

Town Clerk

Project Address 23 Puritan Rd, Marblehead, MA 01945

Assessor Map(s) _____ Parcel Number(s) 139 260

OWNER INFORMATION

Signature [Signature] date _____

Name (printed) THOMAS E. HART

Address 23 Puritan Rd, Marblehead MA 01945

Phone Numbers: home 978.810.0349 work 781.205.8162

E-mail THART@cliasen.com fax _____

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Building Department
For Zoning Board
Of Appeals

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 4-28-2021

Name (printed) LARRY J. HUDAK

Address 10 Schoonin Ridge, MARBLEHEAD, MA 01945

Phone Numbers: home 781 631-0607 work 617 750-7665

E-mail hudiman2@msn.com fax 781 639-4690

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEEK SPECIAL PERMIT TO EXPAND EXISTING FRONT PORCH IN REQ'D SIDE YARD SET BACK WHICH FURTHER REDUCES OPEN AREA. THE PARCEL HAS LESS THAN REQ'D AREA, FRONTAGE, WIDTH, OPEN AREA, SIDE YARD, AND TANDEM PARKING.

- Please schedule a Zoning review with the Building Department by calling 781-631-2220. Application must be complete and correct or a processing delay or the need to re-file may result.
- After obtaining the Town Clerk's stamp submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan as prepared by a Registered Professional Land Surveyor;
 - the project design plans,
 - one check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued, must be available for review by the Board of Appeals at the hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 4-28-2021
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 1-16-2014

Project Address 23 Puritan Road Map(s) / Parcel(s) 139-26-0

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR **SR** SSR ESR SESR HBR U SU
CURRENT USE (explain) Single Family - Residential

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) currently zoned as single family and will remain a single family

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
- ☒ Lot Width - Less than required (§200-7)
- ☒ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☒ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Other Non-conformities (explain) _____
- ☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☐ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☒ Open Area - Less than required (§200-7, §200-15.B(4) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- ☐ Other Non-conformities (explain) _____
- ☒ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Historic District Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

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DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official _____

Date 4-28-2021

NOTES:

- 1) THIS PLAN WAS PREPARED TO ACCOMPANY A ZONING BOARD OF APPEALS FILING FOR A PROPOSED DWELLING RENOVATION.
- 2) TOTAL RECORD AREA IS 4,080±. LOT AREA CALCULATED TO THE ACCEPTED SIDELINE OF PURITAN ROAD IS 4,280± S.F.
- 3) GROSS FLOOR AREA CALCULATED UTILIZING ARCHITECTURAL PLANS.
- 4) BUILDING SHOWN ON 3 BENNETT ROAD LOT SCALED FROM GIS AND SHOULD BE CONSIDERED APPROXIMATE.

EXISTING GROSS FLOOR AREA

1,358± S.F.(1ST FLOOR)
1,358± S.F.(BASEMENT)
50± S.F.(COVERED PATIO)
2,766± S.F. - TOTAL

PROPOSED GROSS FLOOR AREA

1,358± S.F.(1ST FLOOR)
1,358± S.F.(BASEMENT)
177± S.F.(COVERED PATIO)
2,893± S.F. - TOTAL

EXISTING OPEN AREA

4,280± S.F.(LOT AREA)
- 1,358± S.F.(EXISTING HOUSE FOOTPRINT)
- 565± S.F.(DRIVEWAY)
- 54± S.F.(ACCESSORY CONC. BACKYARD)
2,303± S.F. - TOTAL

PROPOSED OPEN AREA

4,280± S.F.(LOT AREA)
- 1,358± S.F.(EXISTING HOUSE FOOTPRINT)
- 565± S.F.(DRIVEWAY)
- 54± S.F.(ACCESSORY CONC. BACKYARD)
2,303± S.F. - TOTAL

ASSESSORS:

PARCEL ID#: 139-26-0

REFERENCES:

DEED BK 36143 PG 434
PLAN BK 35 PG 35

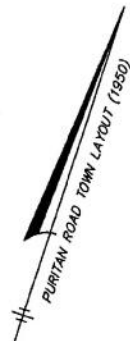
ZONING:

SINGLE RESIDENCE

MIN. LOT AREA - 10,000 S.F.
MIN. FRONTAGE - 100 FEET
MIN. FRONT SETBACK - 20 FEET
MIN. SIDE SETBACK - 15 FEET
MIN. REAR SETBACK - 15 FEET
MIN. OPEN SPACE - (1)
MAX. HEIGHT - 35 FEET

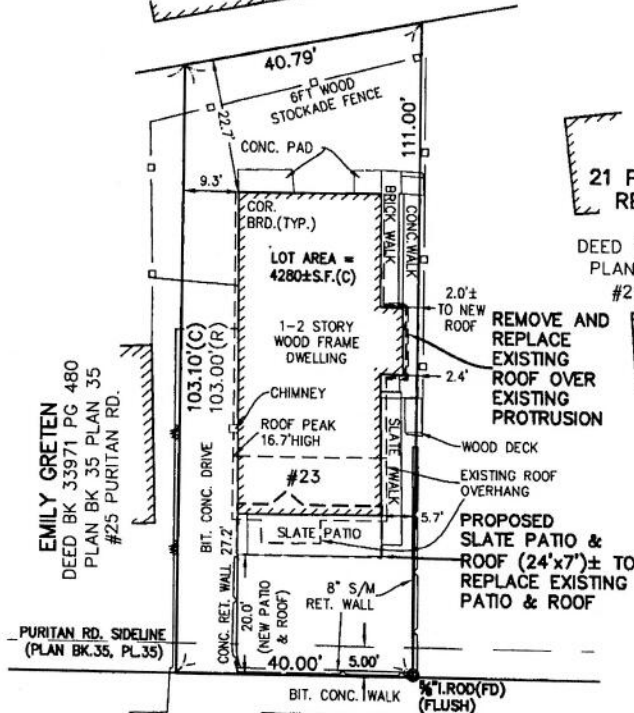
FOOT NOTE: (1) ONE SQUARE FOOT OF OPEN LAND AREA (IN ADDITION TO PARKING AREAS ON SUCH LOT) FOR EACH ONE SQUARE FOOT OF GROSS FLOOR AREA.

OPEN AREA: OPEN AREA INCLUDES LAWN, GARDEN, NATURAL LANDSCAPE FEATURES AND WALKS, OUTDOOR SWIMMING POOLS AND TENNIS COURTS OR OTHER PAVED SURFACES FOR SOCIAL OR HOUSEHOLD USE.



C. REBECCA ROBINSON

DEED BK 25043 PG 387
DEED BK 37406 PG 253
PLAN BK 35 PLAN 35
#3 BENNETT ROAD



**21 PURITAN ROAD
REAL ESTATE
TRUST**

DEED BK 37668 PG 143
PLAN BK 35 PLAN 35
#21 PURITAN RD.

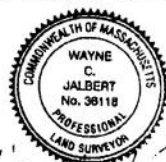
EMILY GRETEN
DEED BK 33971 PG 480
PLAN BK 35 PLAN 35
#25 PURITAN RD.

PURITAN RD. SIDELINE
(PLAN BK.35, PL.35)

PURITAN ROAD

(PUBLIC - 40' WIDE)
1950 TOWN LAYOUT

I CERTIFY TO THE MARBLEHEAD BUILDING INSPECTOR THAT THE BUILDING SHOWN HEREON IS LOCATED ON THE GROUND AS SHOWN.



PROFESSIONAL LAND SURVEYOR

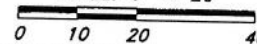
**PLOT PLAN
OF LAND**

IN MARBLEHEAD, MA
PREPARED FOR: LARRY HUDAK

HANCOCK

Survey Associates, Inc.
185 CENTRE STREET, DANVERS, MA. 01923
VOICE (978) 777-3050, FAX (978) 774-7816

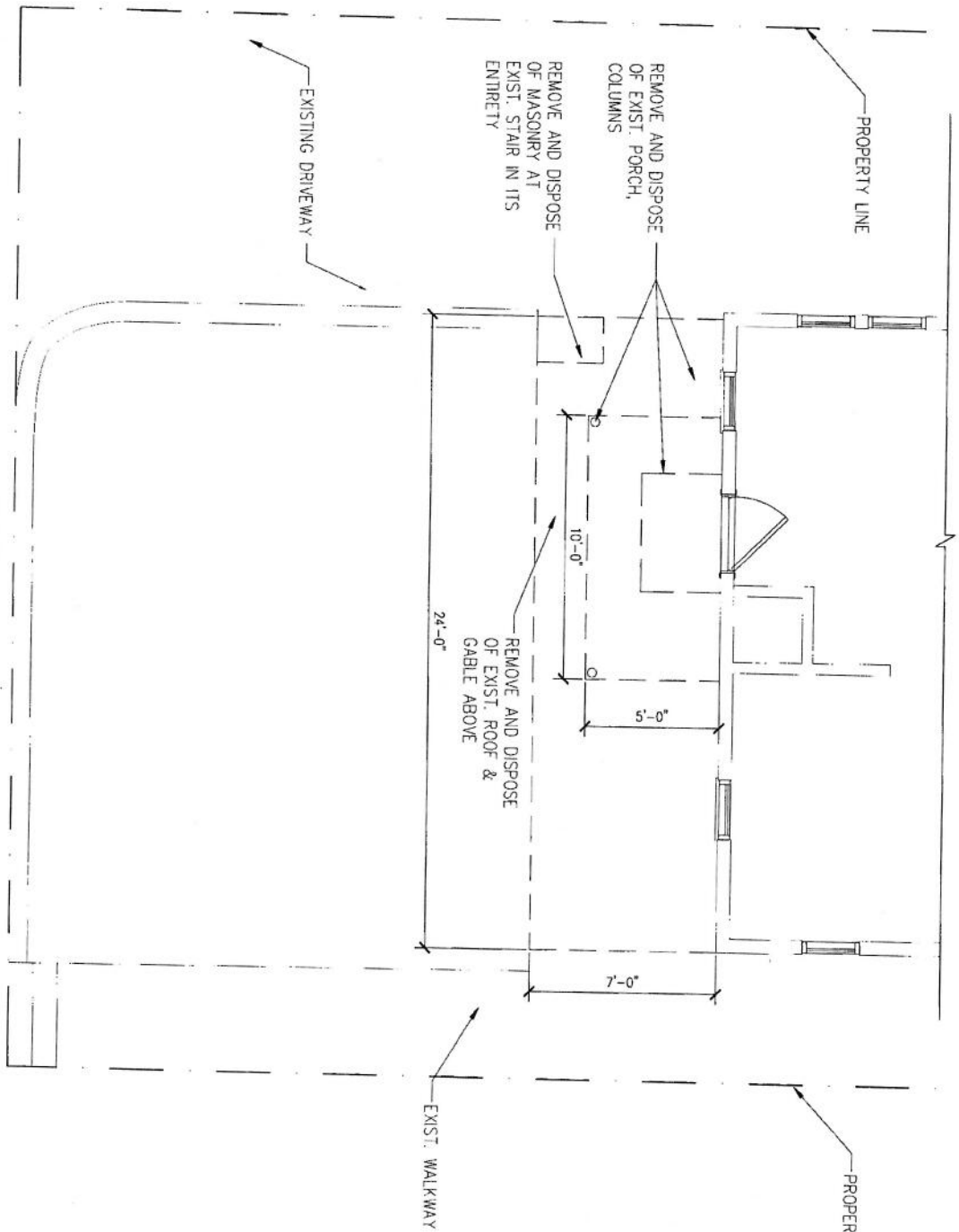
SCALE: 1" = 20'



CHK. BY:
MMM

DATE:
03-31-21

JOB
NO.
24788



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For Zoning Board
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23 PURITAN ROAD
MARBLEHEAD MA
01945

Notes:

Drawn for:

ANITA & TOM
HART

Scale:

AS NOTED

Sheet Description:

Existing
1st Floor Plan

Sheet Number:

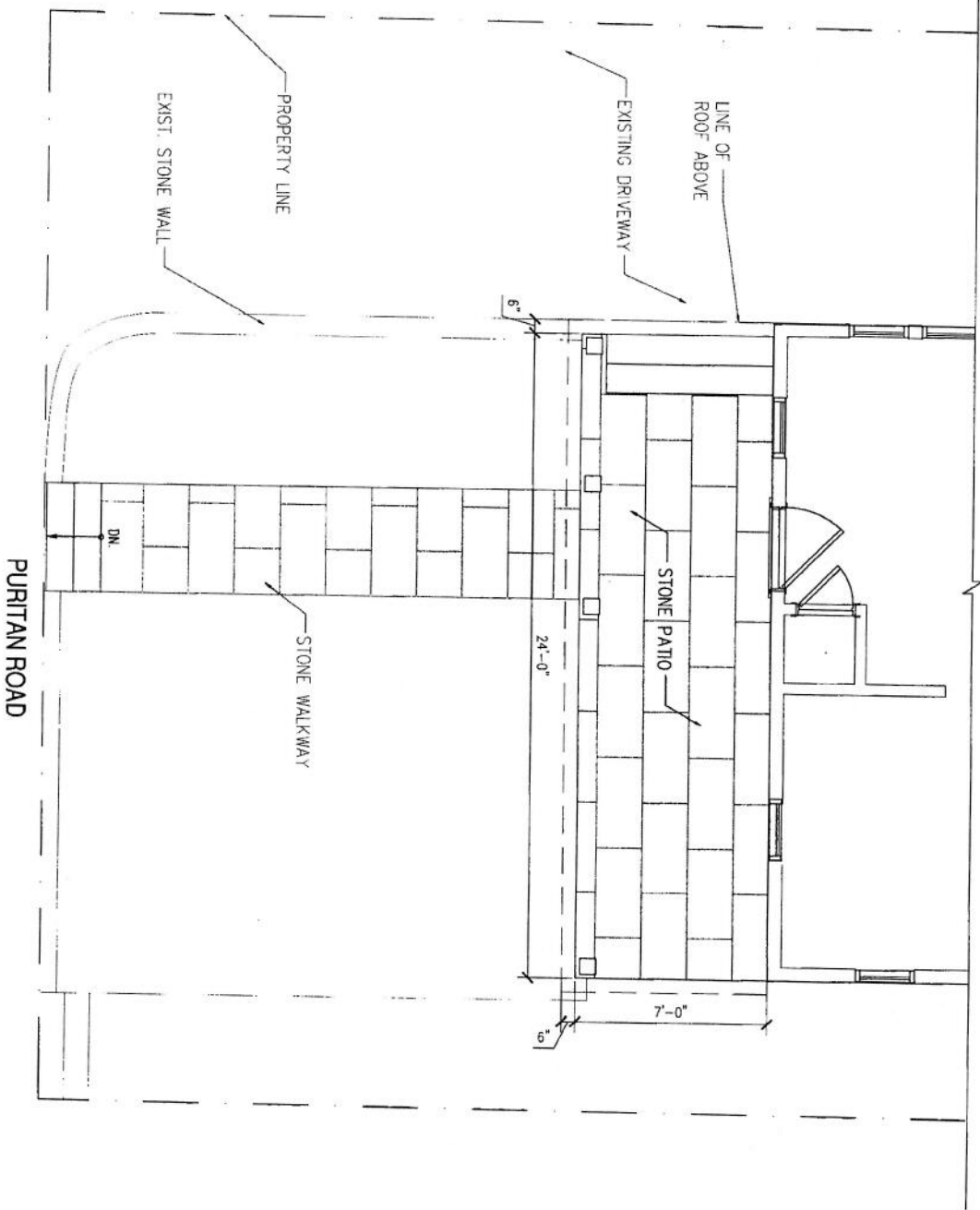
A-2

Existing 1st Floor Plan



SCALE: 1/4" = 1'-0"

4-20-21 ZBA SET



Proposed 1st Floor Plan

SCALE: 1/4" = 1'-0"

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MARBLEHEAD MA
01945

Notes:

Drawn for:

ANITA & TOM
HART

Scale:
AS NOTED

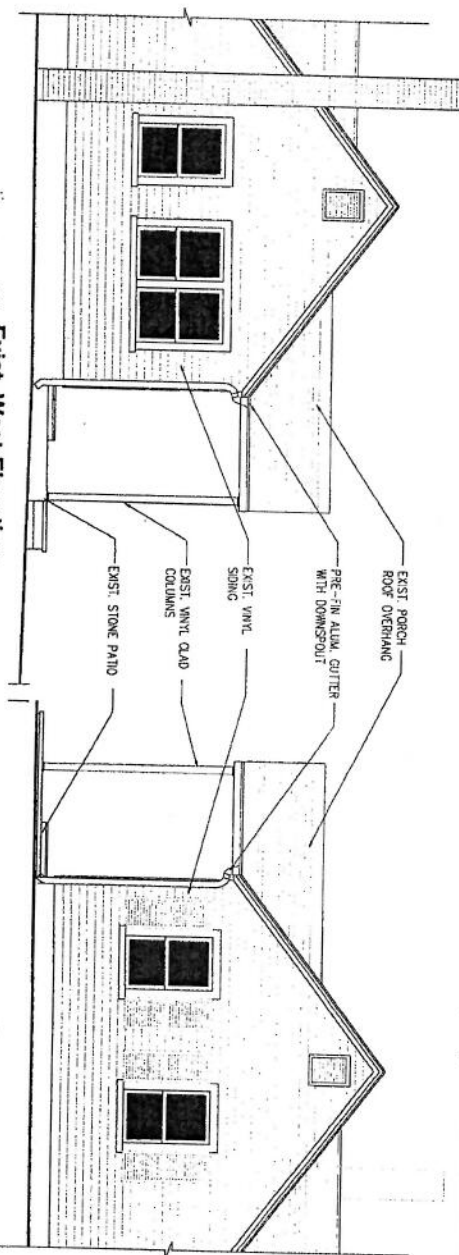
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**1st Floor
Plan**

Sheet Number:

A-3

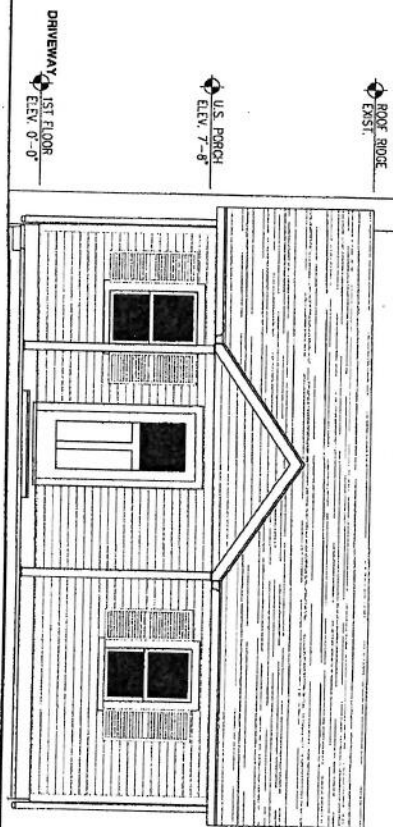
4-20-21 ZBA SET

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1 Exist. West Elevation
SCALE 1/4" = 1'-0"

2 Exist. East Elevation
SCALE 1/4" = 1'-0"



3 Exist. South Elevation
SCALE 1/4" = 1'-0"

23 PURITAN ROAD
MARBLEHEAD MA
01945

Notes:

Drawn for:
ANITA & TOM
HART

Scale:
AS NOTED

Sheet Description
Exist.
Elevations

Sheet Number:

A-5.1

4-20-21 ZBA SET

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Of Appeals

139/26

23 PURITAN ROAD
MARBLEHEAD MA
01945

Notes:

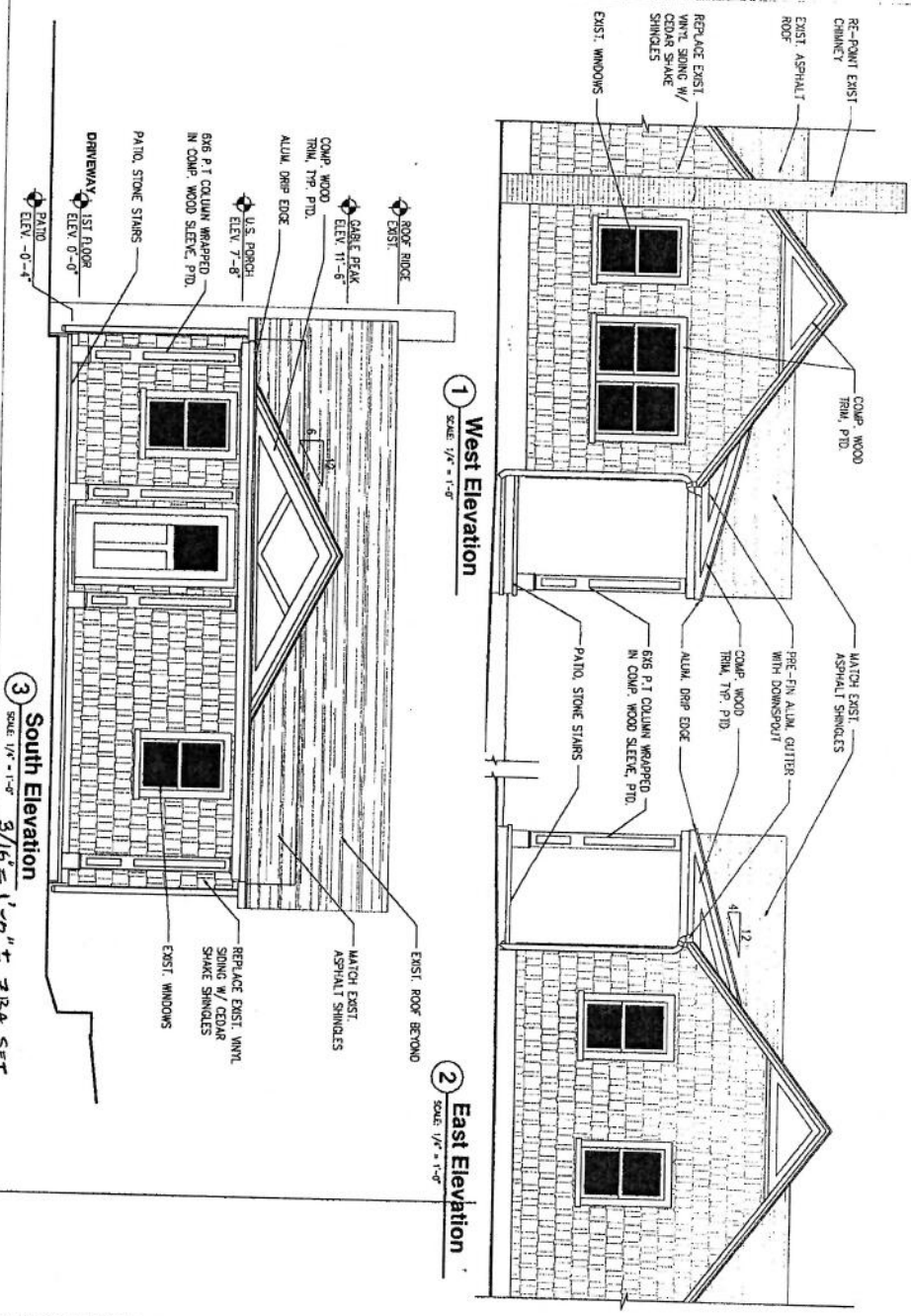
Proposed
Elevations

1 West Elevation

SCALE: 1/8" = 1'-0"

2 East Elevation

SCALE: 1/8" = 1'-0"

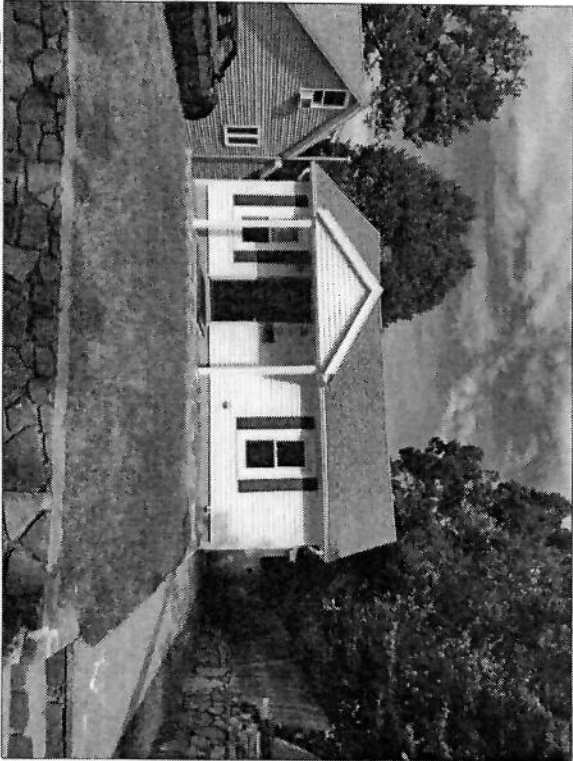


3 South Elevation

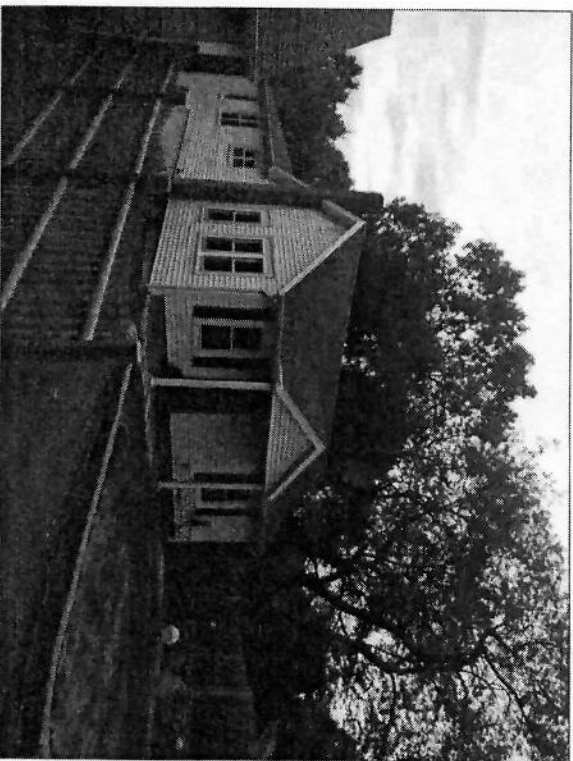
SCALE: 1/8" = 1'-0" 3/16" ± ZBA SET

4-20-21 ZBA SET

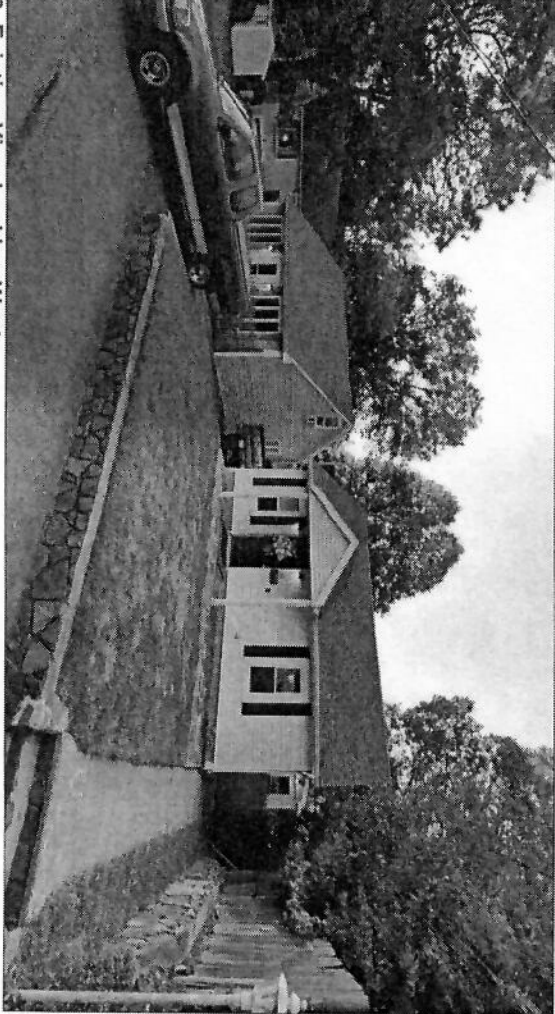
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Scale:	AS NOTED
Sheet Description:	Renderings
Sheet Number:	A-6



1. Existing South Elevation (Puritan Rd)



2. Existing View Looking North



3. Existing View Looking West



3. Existing Top View

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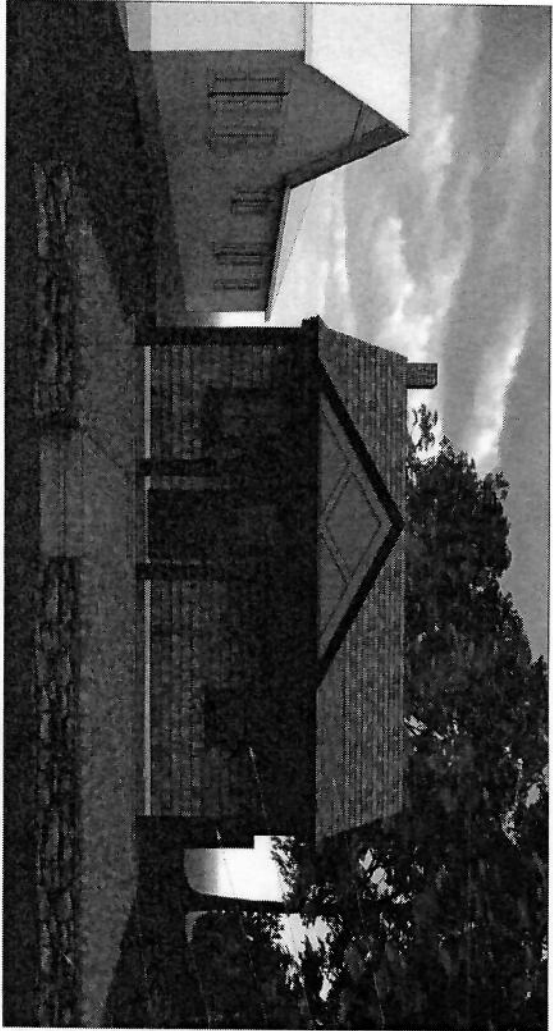
Notes:

Drawn for:
ANITA & TOM
HART

Scale:
AS NOTED

Sheet Description:
**EXISTING
PHOTOS**

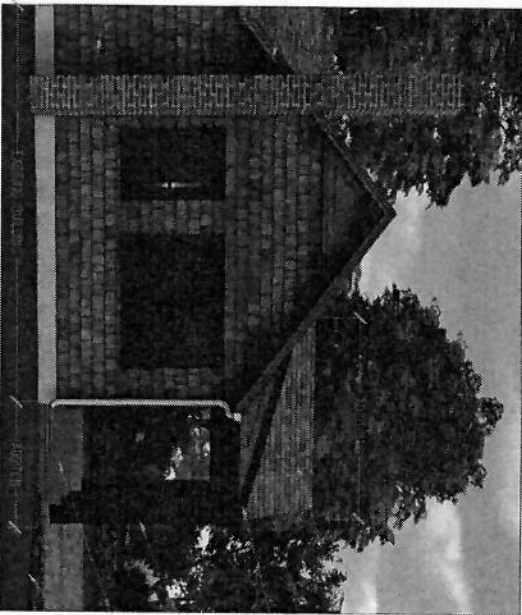
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A-1.0



South Elevation

SCALE N15

MATCH EXIST. ROOF
SHINGLES
COMP. WOOD
WINDOW TRIM PTD.
COMP. WOOD
COLUMNS, PTD.
STONE PATIO
STONE WALKWAY
EXIST. STONE WALL



Typ. Side Elevation

SCALE N15

MATCH EXIST. ROOF
SHINGLES
COMP. WOOD
TRIM, PTD.
COMP. WOOD
COLUMNS, PTD.
STONE PATIO
EXIST. STONE WALL

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23 PURITAN ROAD
MARBLEHEAD MA
01945

Notes:

Drawn for:

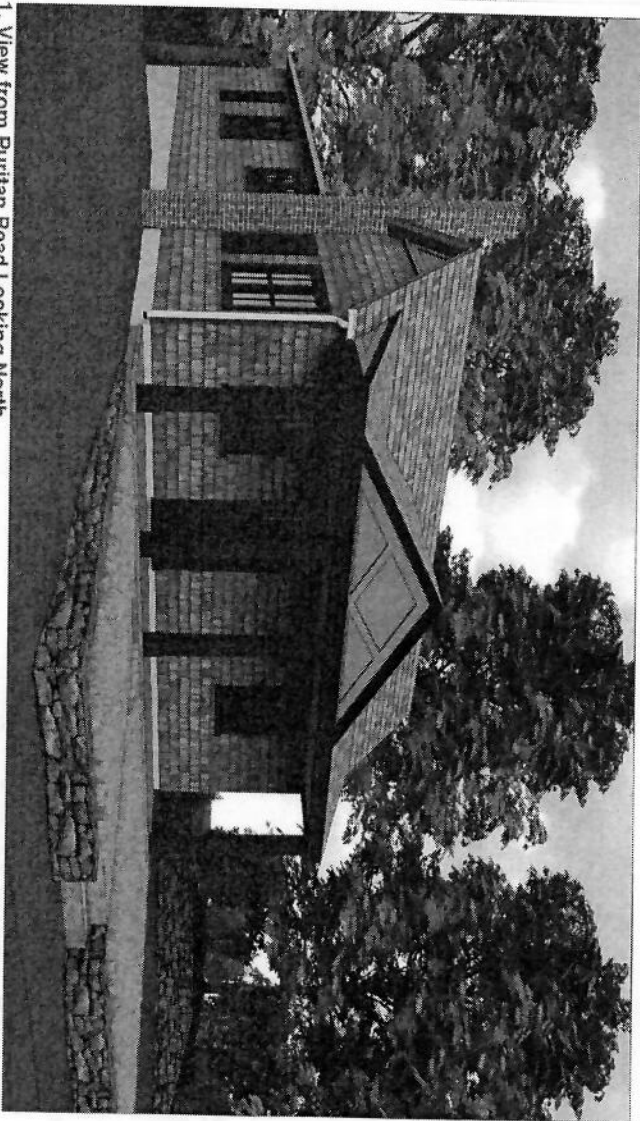
ANITA & TOM
HART

Scale:
AS NOTED

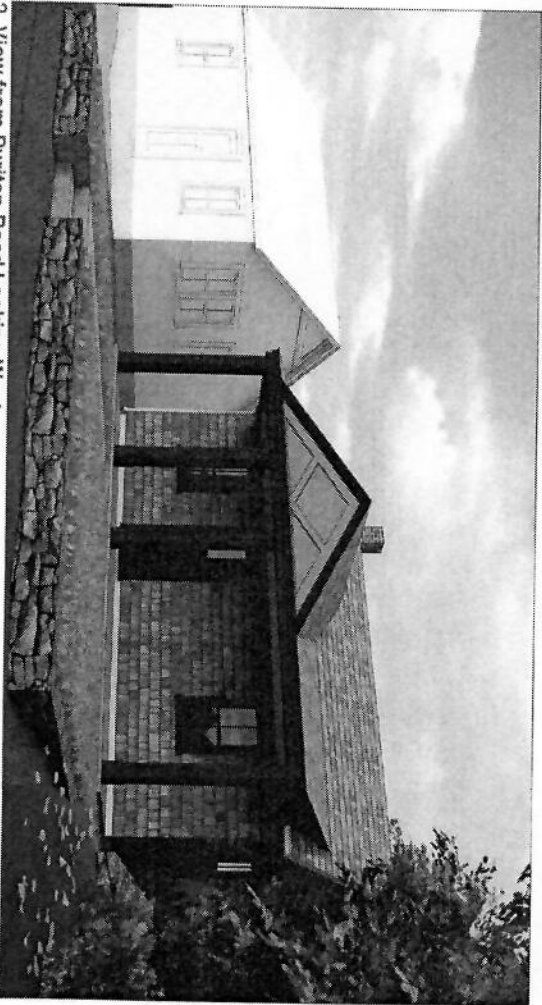
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Renderings

Sheet Number:

A-5



1. View from Puritan Road Looking North



2. View from Puritan Road Looking West

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23 PURITAN ROAD
MARBLEHEAD MA
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Notes:

Drawn for
ANITA & TOM
HART

Scale
AS NOTED

Sheet Description:
Renderings

Sheet Number

A-6