



TOWN SEAL  
tel: 781-631-1529

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Revision Date: 12-02-20

# Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building  
7 Widger Road, Marblehead, MA 01945

## **ZBA APPLICATION**

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TOWN CLERK

2022 DEC -7 PM 2:25  
Town Clerk

Project Address 22 Ticehurst Lane

Assessor Map(s) 46 Parcel Number(s) 1

### **OWNER INFORMATION**

Signature [Signature] date December 01, 2022

Name (printed) Matthew & Stephanie Cady

Address 22 Ticehurst Lane

Phone Numbers: home 949-290-0208

work

E-mail matthew.c.cady@gmail.com

fax

### **APPLICANT or REPRESENTATIVE INFORMATION** (if different from owner)

Signature \_\_\_\_\_ date December 01, 2022

Name (printed) Jeffrey M. Tucker

Address 56 Atlantic Avenue AIA, ASLA

Phone Numbers: home \_\_\_\_\_ work 781-361-3546

E-mail jeff@tuckerarch.com

fax

### **PROJECT DESCRIPTION & RELIEF REQUESTED** (attach additional page if necessary)

Construction of new Pergola, above existing back deck, within side yard setback.

Construction of new front porch to replace existing deck, within front yard setback.

on a lot with less than the required lot area,  
lot width, lot frontage, front yard setback? side yard setback.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
  - the signed and stamped application (3 pages);
  - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
  - the project design plans as required;
  - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

### **REQUIRED SIGNATURES**

1. Building Commissioner (pages 1, 2 and 3) [Signature]

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: [www.marblehead.org/](http://www.marblehead.org/)

Reviewed by  
Building Department  
For Zoning Board  
of Appeals

**Town of Marblehead**  
**ZBA-APPLICATION**

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Revision Date: 12-02-2020

Project Address 22 Ticehurst Lane, Marblehead MA Map(s) / Parcel(s) 46-1-0

**ZONING DISTRICT** (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

**CURRENT USE** (explain) Single Family Residence

**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)

Yes X No        (explain)       

**PROPOSED CHANGE OF USE**

No X Yes        (explain)       

**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes        No X

**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)  
X Lot Width - Less than required (§200-7)  
X Frontage - Less than required (§200-7 and Table 2)  
X Front Yard Setback - Less than required (Table 2)  
       Rear Yard Setback - Less than required (Table 2)  
X Side Yard Setback - Less than required (Table 2)  
       Height - Exceeds maximum allowed (§200-7 and Table 2)  
       Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
       Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
       Other Non-conformities (explain)         
       No Existing Dimensional Non-conformities

**NEW DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)  
       Lot Width - Less than required (§200-7)  
       Frontage - Less than required (§200-7 and Table 2)  
X Front Yard Setback - Less than required (Table 2)  
       Rear Yard Setback - Less than required (Table 2)  
X Side Yard Setback - Less than required (Table 2)  
       Height - Exceeds maximum allowed (§200-7 and Table 2)  
       Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
       Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
       Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)  
       Other Non-conformities (explain)         
       No New Dimensional Non-conformities

**ADDITIONAL HEARINGS REQUIRED**

Conservation Commission	Yes <u>X</u>	No <u>      </u>
Historic District Commission	Yes <u>      </u>	No <u>X</u>
Planning Board	Yes <u>      </u>	No <u>X</u>

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**DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS** (Sections 3(A) and 3(C))

Yes X No        (explain)       

Building Official 

Date 12-7-22

**Town of Marblehead**  
**ZBA-APPLICATION**

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Revision Date: 12-02-2020

**Project Address** 22 Ticehurst Lane, Marblehead MA

**Map(s) / Parcel(s)** 46-1-0

**NET OPEN AREA (NOA)**

**Lot area = A**

**EXISTING**

**PROPOSED**

**Area of features**

footprint of accessory building(s)

30

30

footprint of building

1335

1335

footprint of deck(s), porch(es), step(s), bulkhead(s)

404

404

number of required parking spaces 2 x (9'x 18' per space)

324

324

area of pond(s), or tidal area(s) below MHW

0

0

other areas (explain) \_\_\_\_\_

0

0

**Sum of features = B**

2093

2093

**Net Open Area (NOA) = (A - B)**

4379

4379

**GROSS FLOOR AREA (GFA)**

accessory structure(s)

30

30

basement or cellar (area >5' in height)

1335

1335

1st floor (12' or less in height) **NOTE:** [for heights exceeding

1335

1335

2nd floor (12' or less in height) 12' see definition

1103

1103

3rd floor (12' or less in height) of STORY §200-7]

0

0

4th floor (12' or less in height)

0

0

attic (area >5' in height)

0

0

area under deck (if >5' in height)

0

0

roofed porch(es)

46

173

**Gross Floor Area (GFA) = sum of the above areas**

3849

3976

**Proposed total change in GFA = (proposed GFA - existing GFA)**

127

**Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100**

3.3 %

**Existing Open Area Ratio = (existing NOA ÷ existing GFA)**

1.14

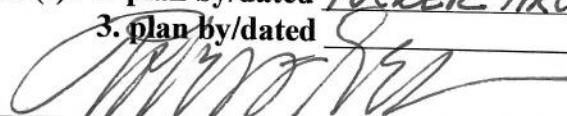
**Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)**

1.10

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This worksheet applies 1. plan by/dated N. SHORE SURVEY 9-14-2022  
to the following plan(s): 2. plan by/dated TUCKER ARCHITECTURE 11-8-2022  
3. plan by/dated \_\_\_\_\_

**Building Official**



**Date** 12-7-22