



RECORD LOT PLAN
COURSE BEARINGS

ELM STREET - VARIABLE WIDTH
PUBLIC WAY

5 STORY TERR.
PUBLIC WAY - VARIABLE WIDTH

DIMENSIONAL TABLE - ZONE U	
REQUIRED	EXISTING
LOT SIZE 10,000 S.F.	12,480 S.F.
FRONTAGE 35 FT.	65.1 FT.
FRONT YARD NONE	42.9 FT.
SIDE YARD 6 FT.	13.6' & 16.4 FT.
REAR YARD 8 FT.	66.3'
MAX. HEIGHT 35 FT.	28.5 FT. AGL
PROPOSED ADDITION :	
FRONT YARD NONE	44.1 FT.
SIDE YARD 6 FT.	14.0 FT.

DIMENSIONED BY BUILDING FACADE.

SITE ELEVATION: NAVD88 HEIGHT DATUM.

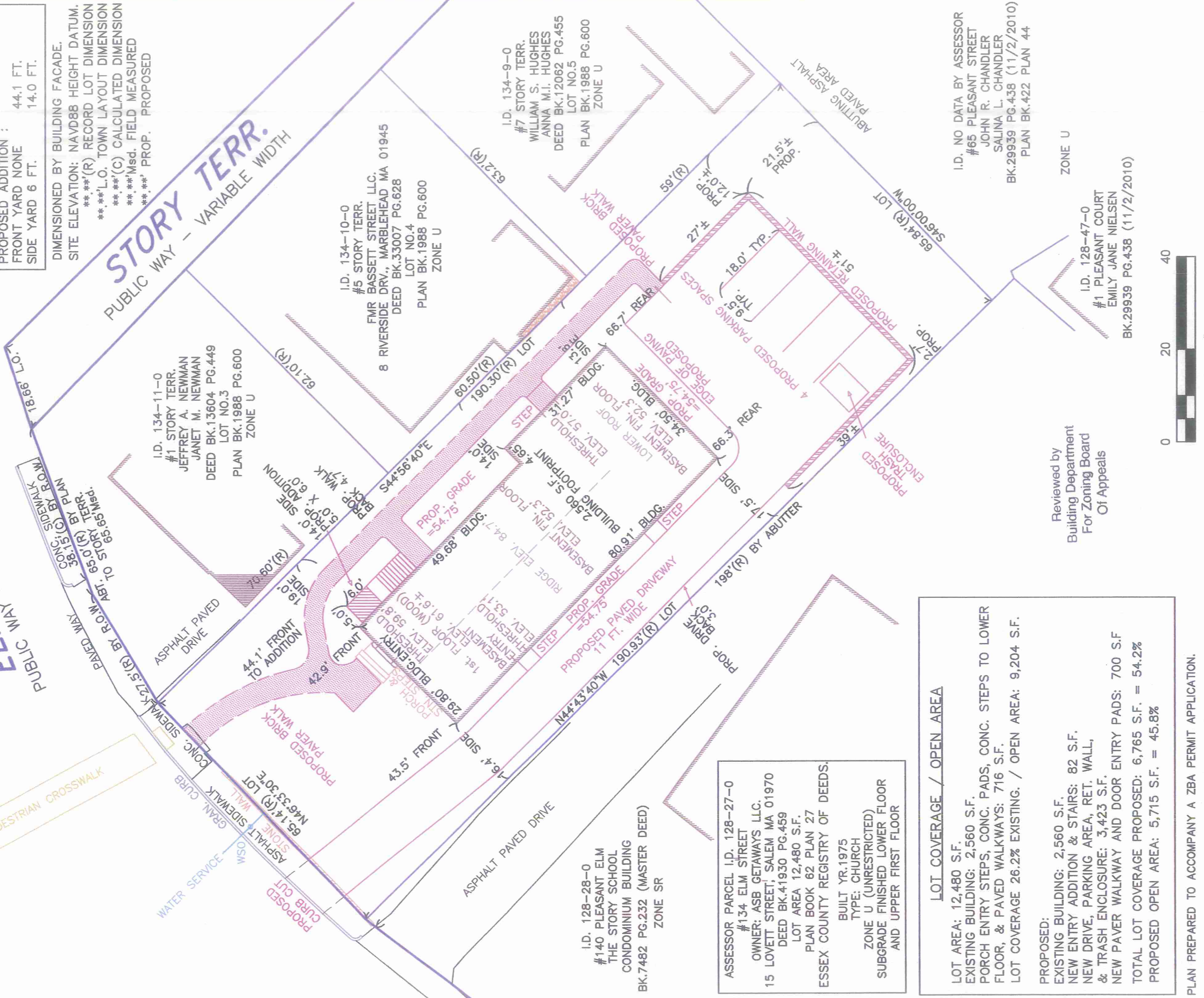
***.**(R) RECORD LOT DIMENSION

***.**(L,O) TOWN LAYOUT DIMENSION

***.**(C) CALCULATED DIMENSION

***.**(Msd) FIELD MEASURED

***.**(P) PROP. PROPOSED



PEDESTRIAN CROSSWALK

I.D. 128-28-0
#140 PLEASANT ELM
THE STORY SCHOOL
CONDOMINIUM BUILDING
BK.7482 PG.232 (MASTER DEED)
ZONE SR

ASSESSOR PARCEL I.D. 128-27-0
#134 ELM STREET
OWNER: ASB GETAWAYS LLC.
15 LOVETT STREET, SALEM MA 01970
DEED BK.41930 PG.459
LOT AREA 12,480 S.F.
PLAN BOOK 62 PLAN 27
ESSEX COUNTY REGISTRY OF DEEDS.
BUILT YR.1975
TYPE: CHURCH
ZONE U (UNRESTRICTED)
SUBGRADE FINISHED LOWER FLOOR
AND UPPER FIRST FLOOR

LOT COVERAGE / OPEN AREA

LOT AREA: 12,480 S.F.
EXISTING BUILDING: 2,560 S.F.
PORCH ENTRY STEPS, CONC. PADS, CONC. STEPS TO LOWER FLOOR, & PAVED WALKWAYS: 716 S.F.
LOT COVERAGE 26.2% EXISTING. / OPEN AREA: 9,204 S.F.

PROPOSED:
EXISTING BUILDING: 2,560 S.F.
NEW ENTRY ADDITION & STAIRS: 82 S.F.
NEW DRIVE, PARKING AREA, RET. WALL, & TRASH ENCLOSURE: 3,423 S.F.
NEW PAVER WALKWAY AND DOOR ENTRY PADS: 700 S.F.
TOTAL LOT COVERAGE PROPOSED: 6,765 S.F. = 54.2%
PROPOSED OPEN AREA: 5,715 S.F. = 45.8%

PLAN PREPARED TO ACCOMPANY A ZBA PERMIT APPLICATION.
THE BUILDING SHOWN AS #134 ELM STREET CONFORMS TO THE TOWN OF MARBLEHEAD ZONING CODE WITH RESPECT TO REQUIRED MINIMUM LOT AREA AND DIMENSIONAL YARD SETBACKS.
PROPOSED DRIVEWAY, CURB CUT, PARKING AREA AND WALKWAYS SHOWN HEREON.

I CERTIFY THAT THE PROPERTY LINES SHOWN HEREON ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF OWNERSHIP OR FOR NEW WAYS ARE SHOWN.



Patrick J. McCormack

2/6/24

Reviewed by
Building Department
For Zoning Board
Of Appeals



PLOT SCALE 1" = 20 FT.

PROJECT NUMBER 989

EXHIBIT PLOT PLAN
#134 ELM STREET
MARBLEHEAD, MA

SCALE 1" = 20'
FEBRUARY 6, 2024

NORDE-EAST SURVEY

27 CONGRESS STREET, #1208, SALEM, MA 01970
TEL. (978)5421920 E-MAIL: NORDE-EAST@VERIZON.NET

I.D. NO DATA BY ASSESSOR
#65 PLEASANT STREET
JOHN R. CHANDLER
SALINA L. CHANDLER
BK.29939 PG.438 (11/2/2010)
PLAN BK.422 PLAN 44

ZONE U

I.D. 128-47-0
#1 PLEASANT COURT
EMILY JANE NIELSEN
BK.29939 PG.438 (11/2/2010)

I.D. 134-10-0
#5 STORY TERR.
FMR BASSETT STREET LLC.
8 RIVERSIDE DRV., MARBLEHEAD MA 01945
DEED BK.33007 PG.628
LOT NO.4
PLAN BK.1988 PG.600
ZONE U

I.D. 134-9-0
#7 STORY TERR.
WILLIAM S. HUGHES
ANNA M.I. HUGHES
DEED BK.12062 PG.455
LOT NO.5
PLAN BK.1988 PG.600
ZONE U

ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



OWNER

ASB GETAWAYS, LLC
15 LOVETT STREET
SALEM, MA 01970
PHONE : 617-774-8022
EMAIL : JASON@ANYSEASONBUILDERS.COM
CONTACT : JASON DEVINCENZO

ARCHITECT

STEVEN GRIBBIN ARCHITECTS, PLLC
427 WATER STREET
WAKEFIELD, MA 01880
PHONE : 617-312-5757
EMAIL : SFG@SGA.STUDIO
CONTACT : STEVEN GRIBBIN, AIA

CONTRACTOR

ANY SEASON BUILDERS
15 LOVETT STREET
SALEM, MA 01970
PHONE : 603-868-4246
EMAIL : JASON@ANYSEASONBUILDERS.COM
CONTACT : JASON DEVINCENZO

SURVEYOR

NORDE-EAST SURVEY
27 CONGRESS STREET
SUITE 205-8
SALEM, MA 01970
PHONE : 857-891-2319
EMAIL : NORDE-EAST@VERIZON.NET
CONTACT : PATRICK MCCORMACK

SET 1 of 1
2023016

PERMIT
FEBRUARY 06, 2024

Reviewed by
Building Department
For Zoning Board
Of Appeals



Steven Gribbin Architects LLC

DEMOLITION GENERAL NOTES

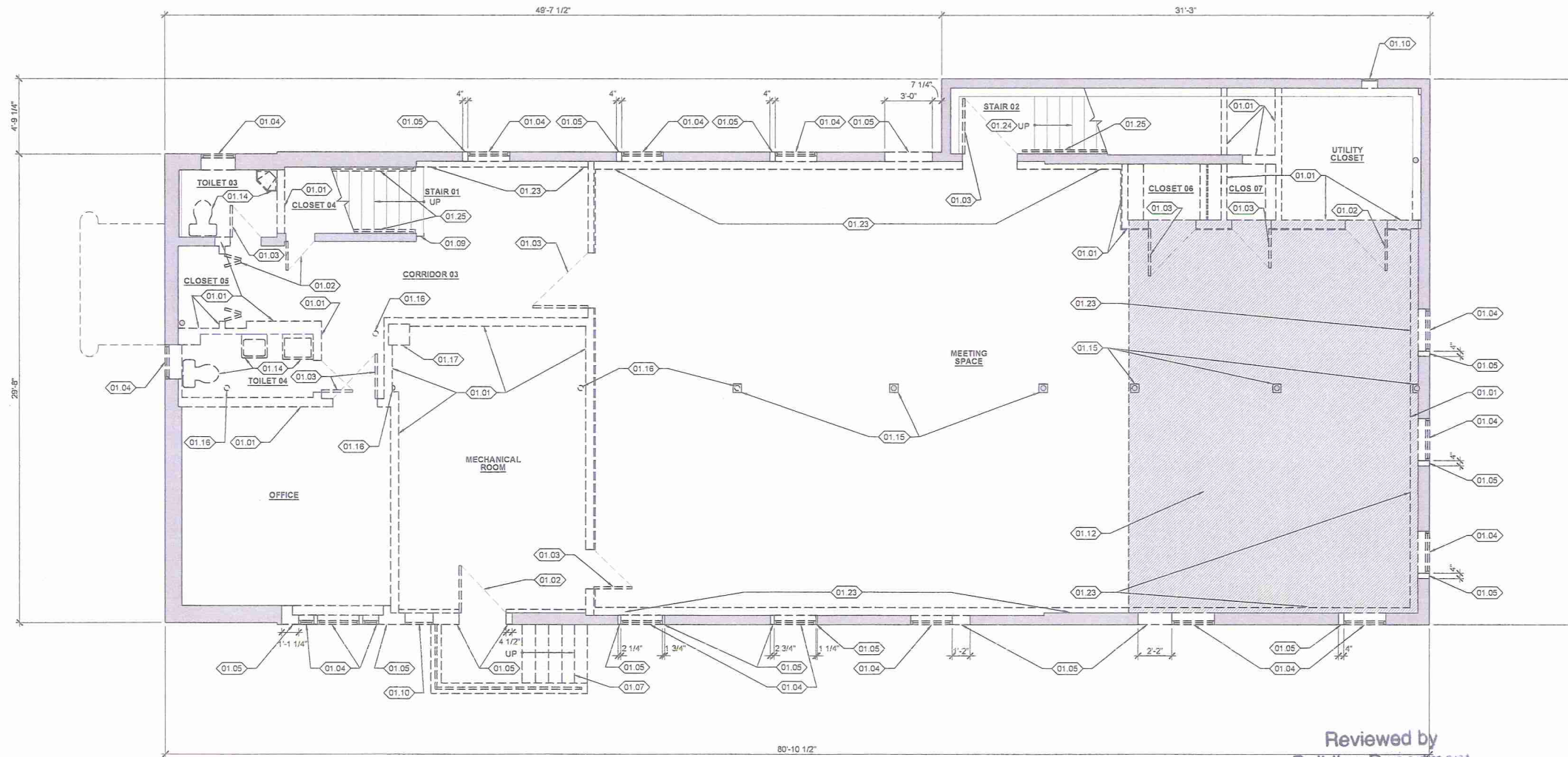
- 1. DEMOLITION WORK SHALL BE PERFORMED PER ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- 2. REMOVE ALL EXISTING MECHANICAL EQUIPMENT, ELECTRICAL, AND PLUMBING AS THROUGHOUT THE EXISTING BUILDING.
- 3. REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED UTILITIES FROM THE ATTIC LEVEL AND THE BASEMENT LEVEL MECHANICAL ROOM AND UTILITY ROOM.
- 4. REMOVE ALL EXISTING CEILINGS IN THE BASEMENT LEVEL.
- 5. REMOVE ALL EXISTING FLOORING IN THE BASEMENT LEVEL.
- 6. REMOVE ALL EXISTING WOOD WAINSCOT IN THE FIRST LEVEL ENTRY HALL AND SANCTUARY AND STORE FOR REUSE.
- 7. REMOVE ALL EXISTING PLASTER AND LATH AND GWB ON INTERIOR WALLS.

DEMOLITION KEY NOTES

- 01.01 REMOVE EXISTING INTERIOR WALL CONSTRUCTION IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.02 REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN THEIR ENTIRETY.
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14 DEMOLITION BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

Reviewed by
Building Department
For Zoning Board
Of Appeals



427 Water Street
Wakefield, MA 01880
T. 617-312-5757

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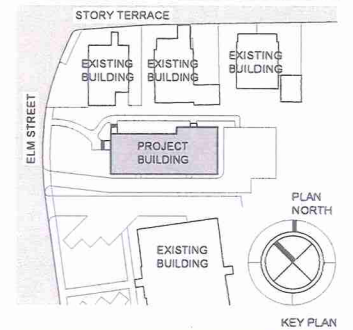
REVIEWED BY
SFG



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SFG

ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



REVISION	DATE	ISSUED FOR	DATES ISSUED
02/06/24	PERMIT		
02/02/24	DRAFT REVIEW		
12/06/23	BANK REVIEW		

DEMOLITION BASEMENT FLOOR PLAN

PROJECT NUMBER 2023016
DRAWING NUMBER D102
DRAWING SCALE 1/4" = 1'-0"
DATE ISSUED 02/06/24

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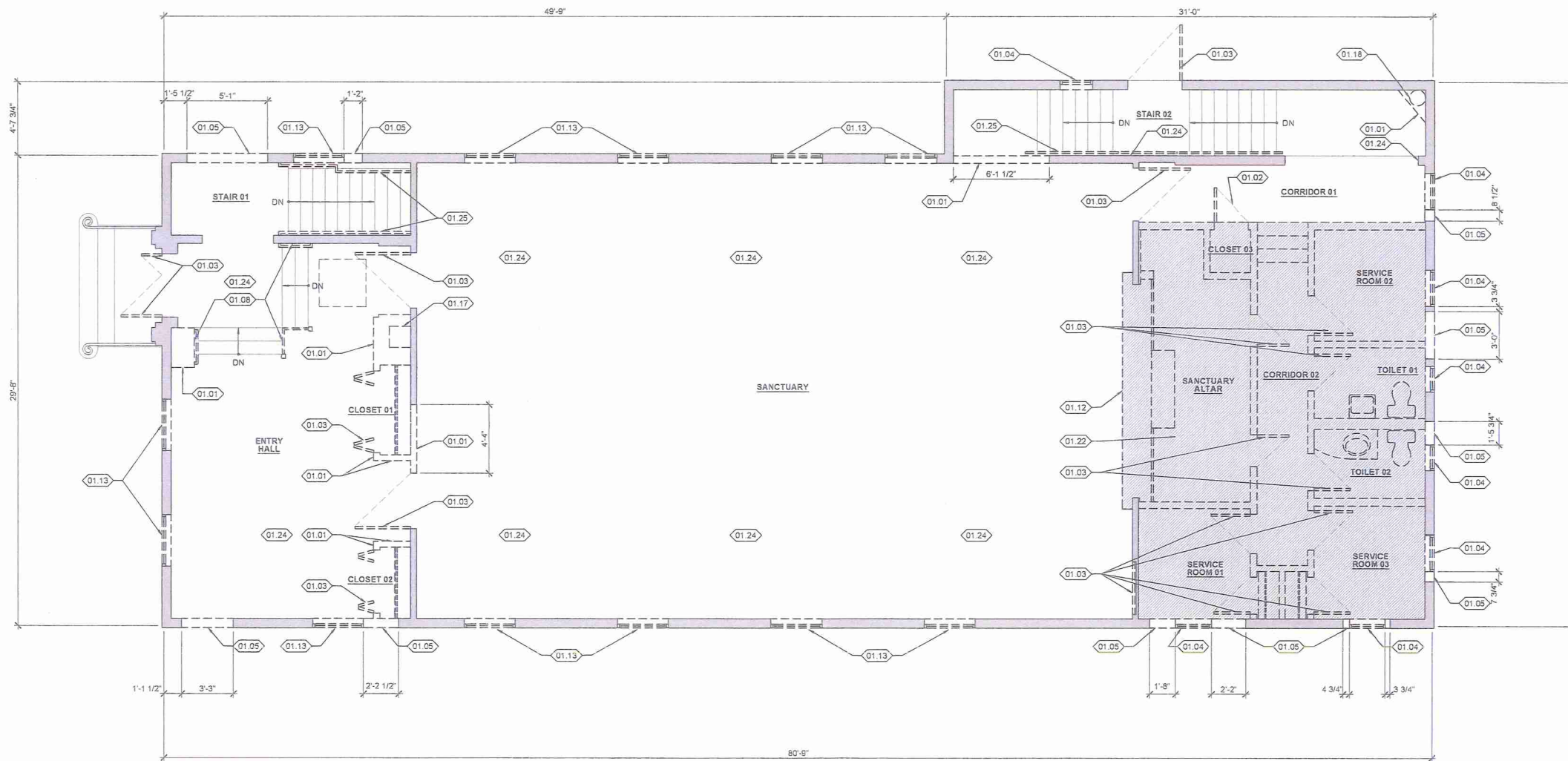
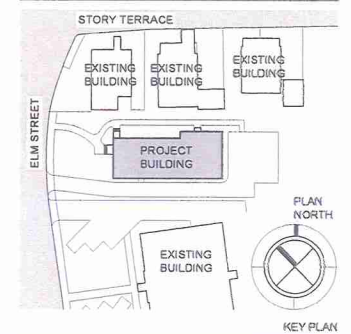
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ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



14 DEMOLITION FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Reviewed by
Building Department
For Zoning Board
Of Appeals

REVISION	DATE	ISSUED FOR	DATES ISSUED
02/06/24	PERMIT		
02/02/24	DRAFT REVIEW		
12/06/23	BANK REVIEW		

DEMOLITION FIRST FLOOR PLAN

PROJECT NUMBER
2023016

DRAWING SCALE
1/4" = 1'-0"

DATE ISSUED
02/06/24

D103

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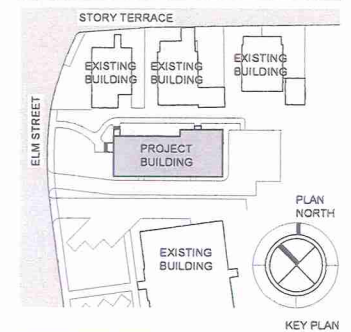
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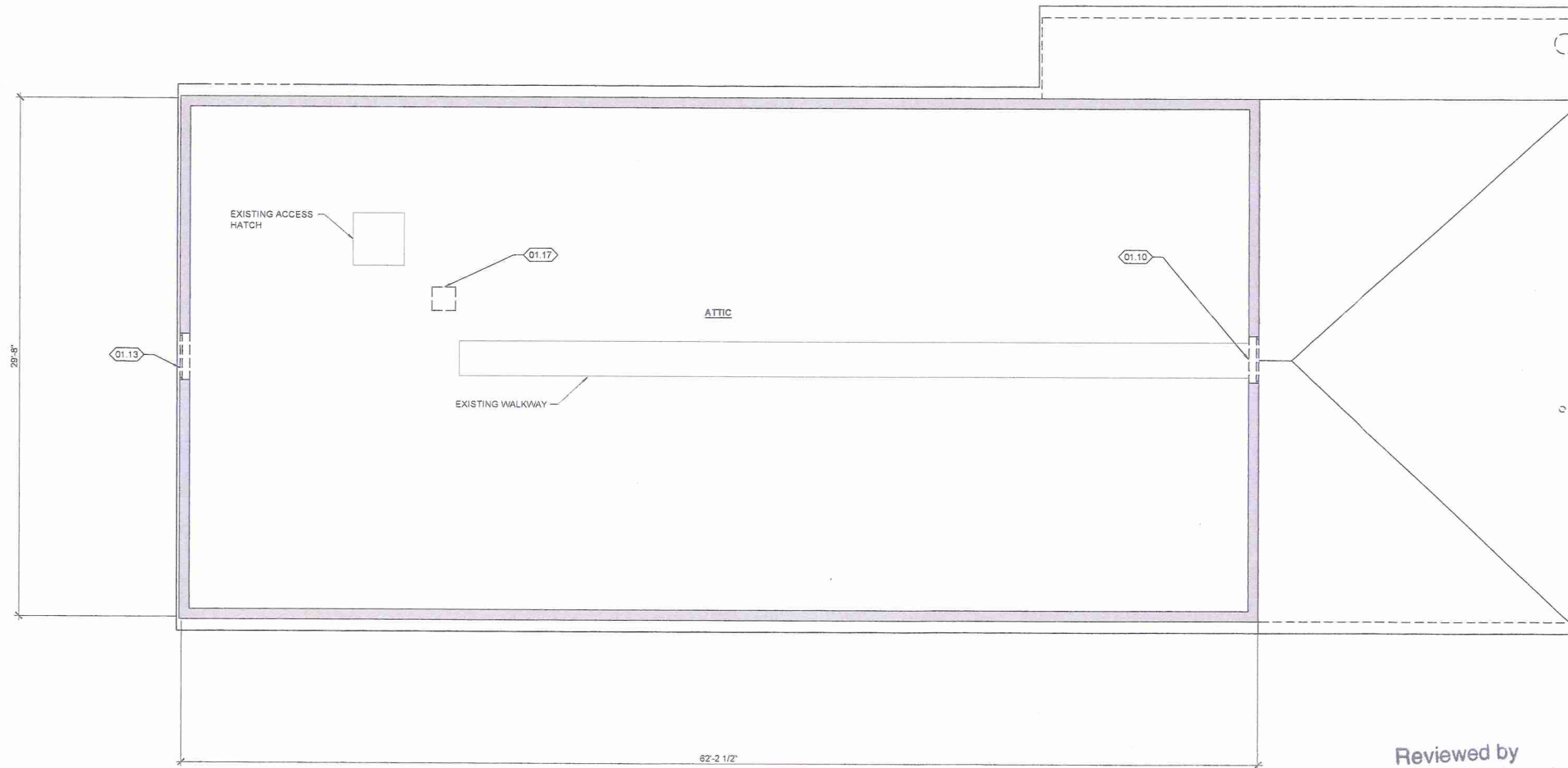
ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



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02/02/24	DRAFT REVIEW		

DEMOLITION ATTIC FLOOR PLAN



Reviewed by
Building Department
For Zoning Board
Of Appeals

12 DEMOLITION ATTIC FLOOR PLAN
SCALE: 1/8" = 1'-0"

PROJECT NUMBER
2023016 DRAWING NUMBER

DRAWING SCALE
1/4" = 1'-0"

DATE ISSUED
02/06/24

D104

sga-19-02.dwg

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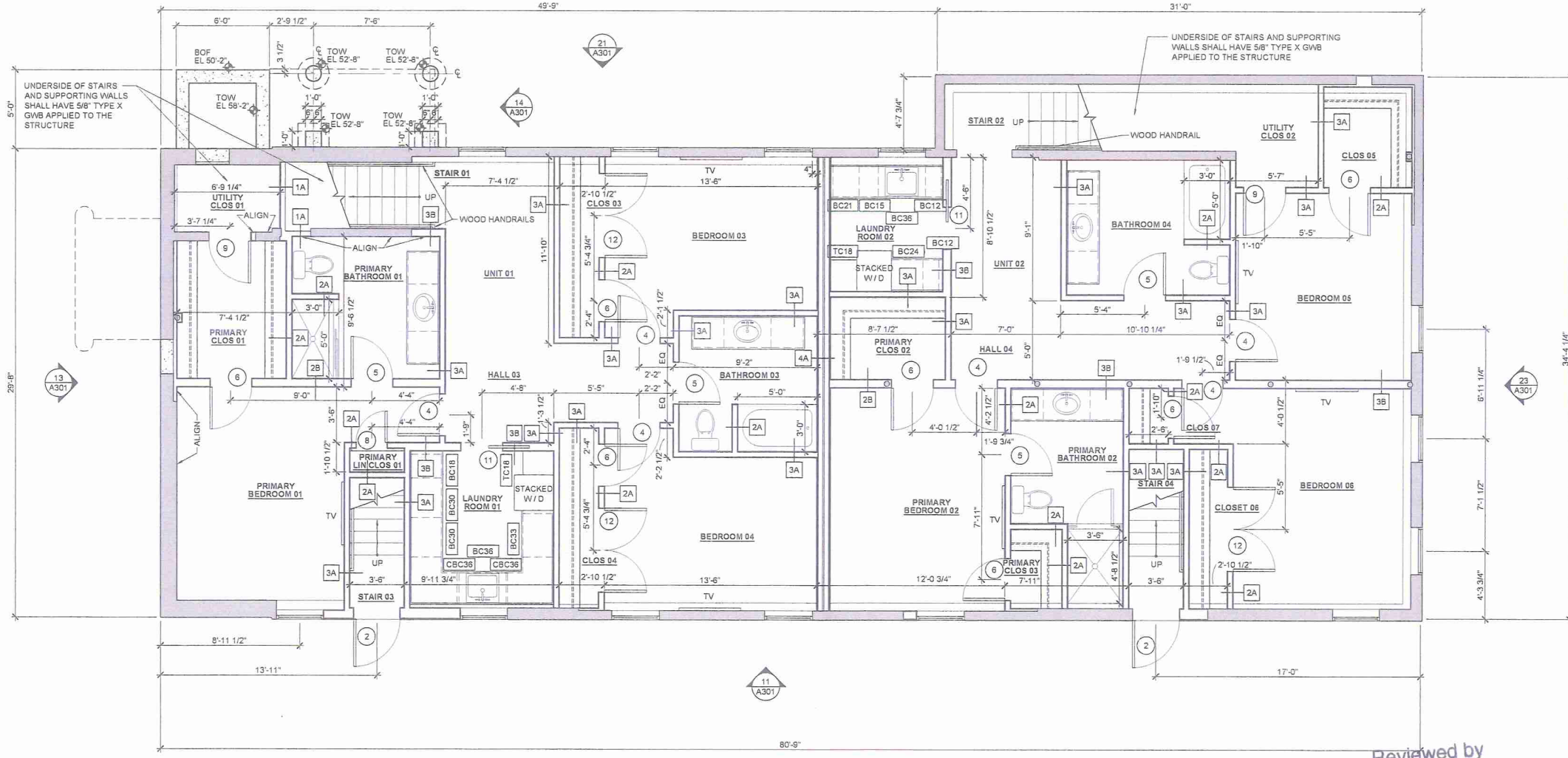
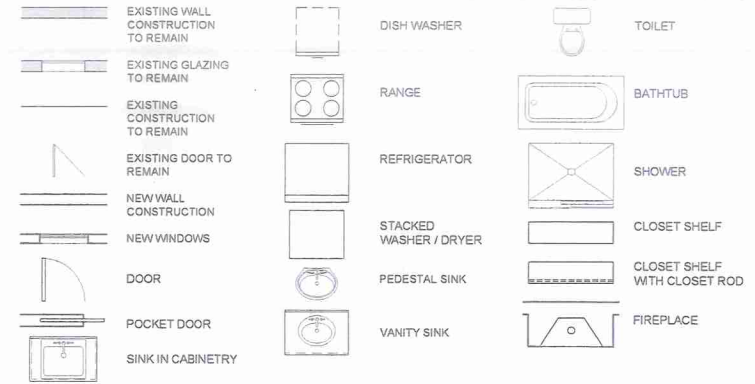
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PLAN GENERAL NOTES

- ALL EXTERIOR WALL DIMENSIONS ARE MEASURED TO THE FACE OF WOOD STUD OR CONCRETE CONSTRUCTION, UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALL DIMENSIONS ARE MEASURED TO THE FACE OF FINISHED WALL AND NOT TO THE FACE OF WOOD STUD CONSTRUCTION, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR WALL CONSTRUCTION SHALL BE 2X6 WOOD STUD FRAMING UNLESS OTHERWISE NOTED.
- MOISTURE RESISTANT GWB SHALL BE USED IN BATHROOMS AND OTHER WET LOCATIONS.
- TILE BACKER BOARD SHALL BE USED IN LOCATIONS WHERE WALL TILE IS TO BE INSTALLED.

PLAN LEGEND

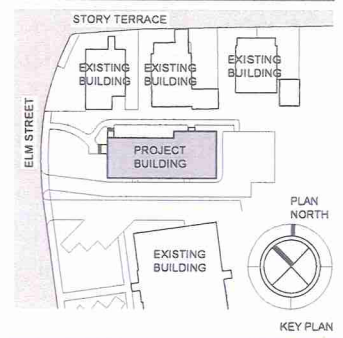


14 BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

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ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



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BASEMENT FLOOR PLAN

PROJECT NUMBER
2023016
DRAWING NUMBER

DRAWING SCALE
1/4" = 1'-0"
DATE ISSUED
02/06/24

A102

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PLAN LEGEND

	EXISTING WALL CONSTRUCTION TO REMAIN		DISH WASHER		TOILET
	EXISTING GLAZING TO REMAIN		RANGE		BATHTUB
	EXISTING CONSTRUCTION TO REMAIN		REFRIGERATOR		SHOWER
	EXISTING DOOR TO REMAIN		STACKED WASHER / DRYER		CLOSET SHELF
	NEW WALL CONSTRUCTION		PEDESTAL SINK		CLOSET SHELF WITH CLOSET ROD
	NEW WINDOWS		VANITY SINK		FIREPLACE
	DOOR				
	POCKET DOOR				
	SINK IN CABINETS				



427 Water Street
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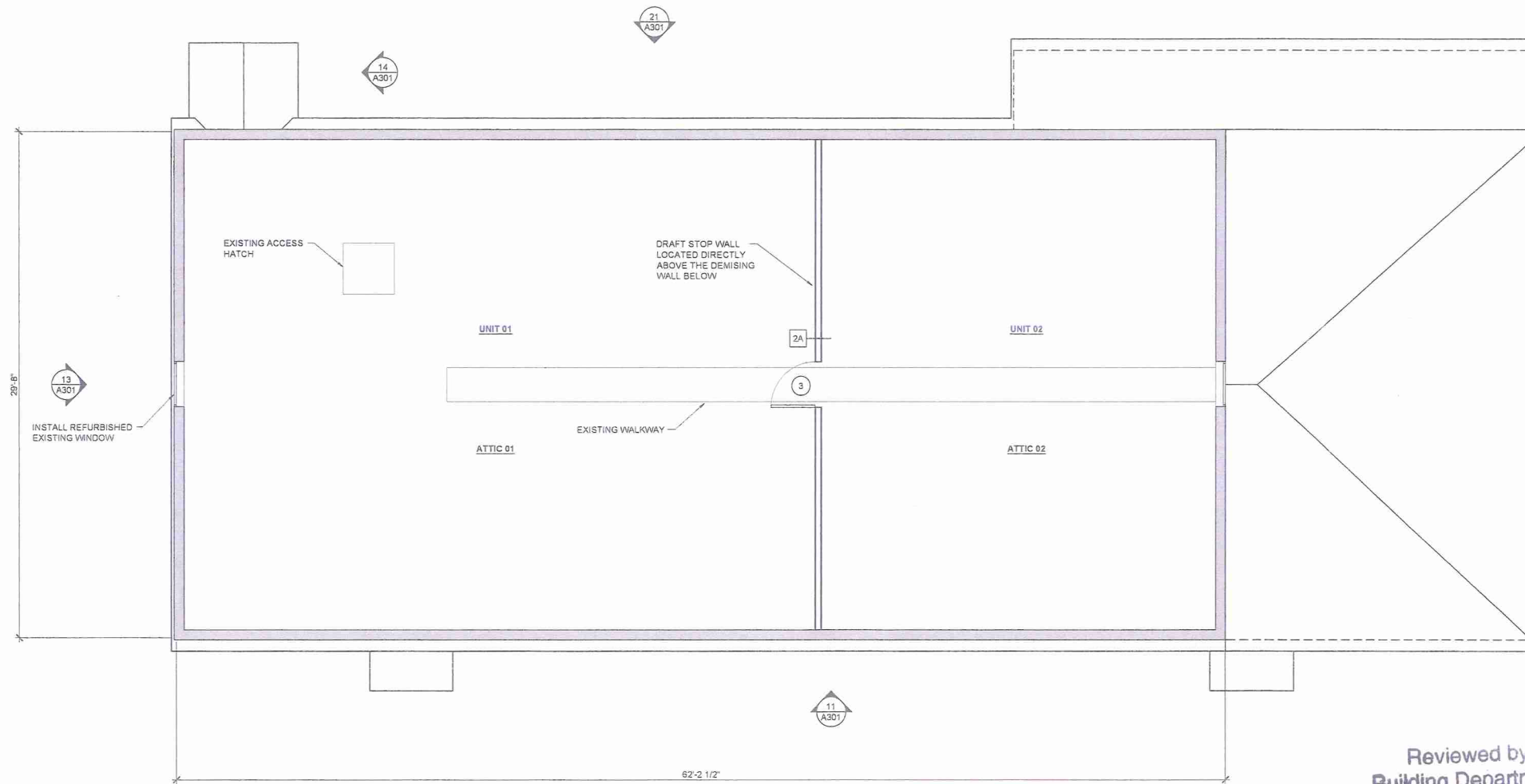
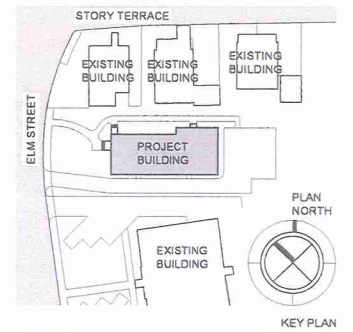
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ELM STREET RESIDENCES

134 ELM STREET
MARBLEHEAD, MA 01945



14 ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"

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Building Department
For Zoning Board
Of Appeals

REVISION	DATE	ISSUED FOR	DATES ISSUED
02/06/24	PERMIT		
02/02/24	DRAFT REVIEW		

ATTIC FLOOR PLAN

PROJECT NUMBER DRAWING NUMBER

2023016

DRAWING SCALE
1/4" = 1'-0"

DATE ISSUED
02/06/24

A104

DEMOLITION GENERAL NOTES

- DEMOLITION WORK SHALL BE PERFORMED PER ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
- REMOVE ALL EXISTING MECHANICAL EQUIPMENT, ELECTRICAL, AND PLUMBING AS THROUGHOUT THE EXISTING BUILDING.
- REMOVE ALL EXISTING MECHANICAL EQUIPMENT AND ASSOCIATED UTILITIES FROM THE ATTIC LEVEL AND THE BASEMENT LEVEL MECHANICAL ROOM AND UTILITY ROOM.
- REMOVE ALL EXISTING CEILINGS IN THE BASEMENT LEVEL.
- REMOVE ALL EXISTING FLOORING IN THE BASEMENT LEVEL.
- REMOVE ALL EXISTING WOOD WAINSCOT IN THE FIRST LEVEL ENTRY HALL AND SANCTUARY AND STORE FOR REUSE.
- REMOVE ALL EXISTING PLASTER AND LATH AND GWB ON INTERIOR WALLS.

DEMOLITION KEY NOTES

- 01.01 REMOVE EXISTING INTERIOR WALL CONSTRUCTION IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.02 REMOVE EXISTING DOOR, FRAME, AND HARDWARE IN THEIR ENTIRETY.
- 01.03 REMOVE EXISTING DOOR AND HARDWARE IN THEIR ENTIRETY AND STORE FOR REUSE.
- 01.04 REMOVE EXISTING WINDOW, FRAME, AND SILL IN THEIR ENTIRETY.
- 01.05 REMOVE EXISTING EXTERIOR WALL CONSTRUCTION IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.06 REMOVE EXISTING ELECTRICAL METERS.
- 01.07 REMOVE EXISTING CONCRETE STAIR, CONCRETE STAIRWELL, CONCRETE SLAB, CONCRETE FOOTINGS, AND METAL GUARDRAIL IN THEIR ENTIRETY.
- 01.08 REMOVE EXISTING WOOD STAIR GUARDRAIL AND HANDRAIL IN ITS ENTIRETY.
- 01.09 REMOVE EXISTING STAIR TREAD AND RISER TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.10 REMOVE EXISTING LOUVER AND FRAME IN ITS ENTIRETY.
- 01.11 REMOVE EXISTING GAS METERS.
- 01.12 REMOVE EXISTING FLOOR CONSTRUCTION IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS. STORE WOOD FLOORING FOR REUSE.
- 01.13 REMOVE EXISTING WINDOW IN ITS ENTIRETY AND STORE FOR REUSE.
- 01.14 REMOVE EXISTING PLUMBING FIXTURES IN THEIR ENTIRETY.
- 01.15 REMOVE EXISTING WOOD COLUMN SURROUND IN ITS ENTIRETY.
- 01.16 REMOVE EXISTING LALLY COLUMN IN ITS ENTIRETY.
- 01.17 REMOVE EXISTING MASONRY CHIMNEY IN ITS ENTIRETY.
- 01.18 REMOVE EXISTING VENT PIPE IN ITS ENTIRETY.
- 01.19 REMOVE EXISTING SLATE SHINGLES IN THEIR ENTIRETY AND STORE FOR REUSE.
- 01.20 REMOVE EXISTING ROOF UNDERLAYMENT IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.21 REMOVE EXISTING ASPHALT SHINGLES IN THEIR ENTIRETY AND STORE FOR REUSE.
- 01.22 REMOVE ALL EXISTING CONSTRUCTION IN ITS ENTIRETY AS INDICATED ON THE DRAWINGS INCLUDING BUT NOT LIMITED TO INTERIOR WALLS, TRIM, WALL TILE, TOILET ACCESSORIES, PLUMBING FIXTURES, SHELVING, BASEBOARD HEATING, STAIRS, ETC.
- 01.23 REMOVE EXISTING INTERIOR WOOD WAINSCOT AND WALL CONSTRUCTION BEHIND IT IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.
- 01.24 REMOVE EXISTING DECORATIVE LIGHT FIXTURE AND SAVE FOR REUSE.
- 01.25 REMOVE EXISTING HANDRAILS IN THEIR ENTIRETY.
- 01.26 REMOVE EXISTING COPPER GUTTERS AND DOWNSPOUTS IN THEIR ENTIRETY AND STORE FOR REUSE.
- 01.27 REMOVE EXISTING CONCRETE FOUNDATION WALL IN ITS ENTIRETY TO THE EXTENT INDICATED ON THE DRAWINGS.

DEMOLITION ELEVATION LEGEND

- EXISTING CONSTRUCTION TO REMAIN
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING CONSTRUCTION TO BE REMOVED

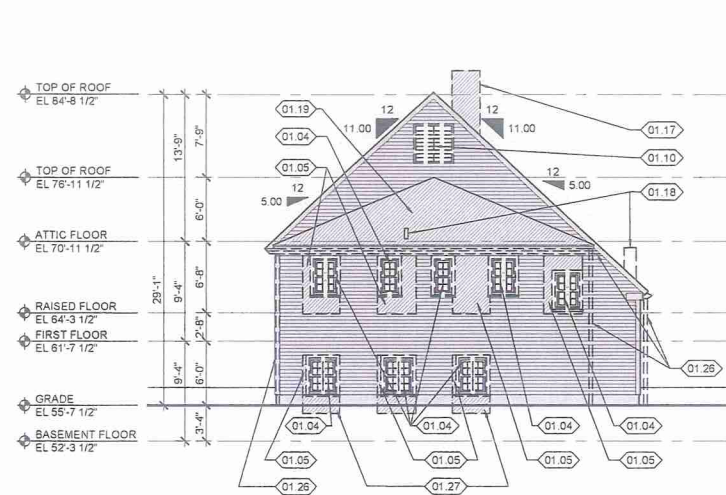


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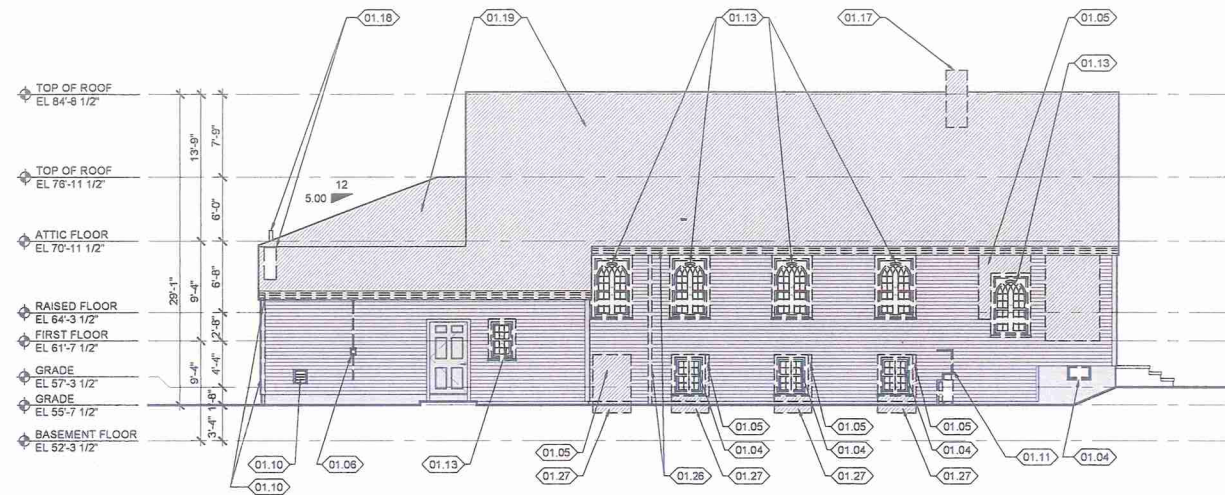
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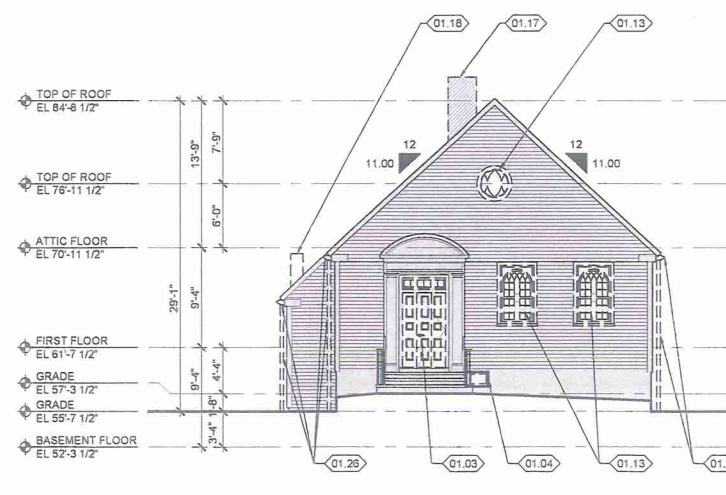
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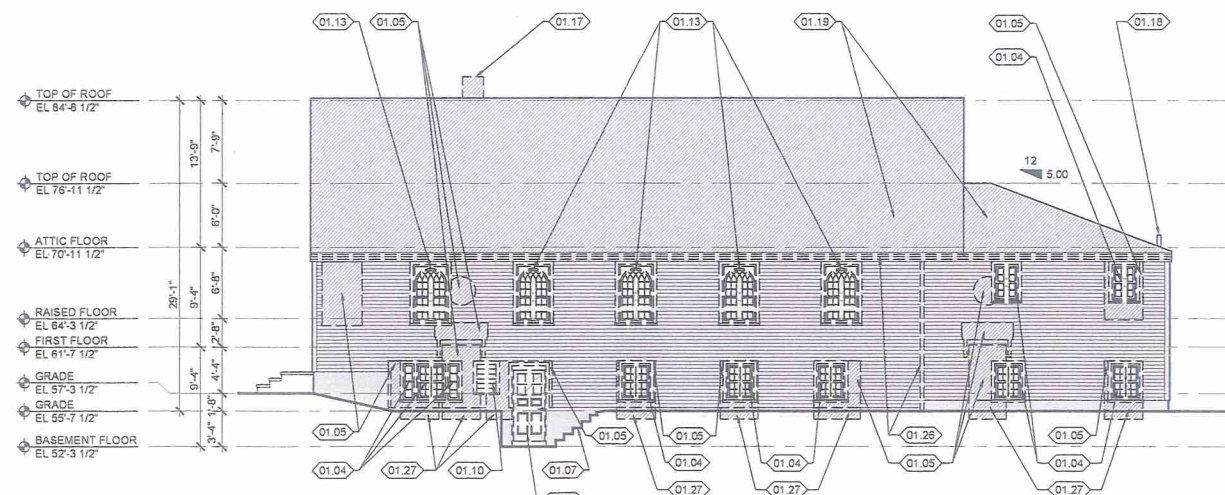
23 DEMOLITION EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



21 DEMOLITION EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

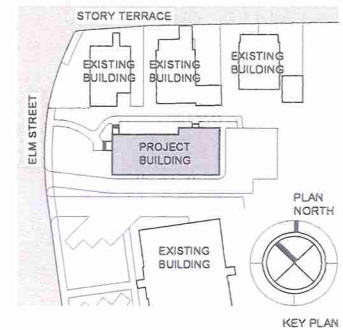


13 DEMOLITION EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



11 DEMOLITION EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

ELM STREET RESIDENCES
134 ELM STREET
MARBLEHEAD, MA 01945



REVISION	DATE	ISSUED FOR	DATES ISSUED
02/08/24	PERMIT		
02/02/24	DRAFT REVIEW		
12/08/23	BANK REVIEW		

DEMOLITION EXTERIOR ELEVATIONS
Reviewed by
Building Department
For Zoning Board
Of Appeals

PROJECT NUMBER
2023016
DRAWING SCALE
1/8" = 1'-0"

D301

DATE ISSUED
02/06/24

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ELEVATION LEGEND



ELEVATION GENERAL NOTES

1. WINDOW AND DOOR DIMENSIONS ARE MEASURED TO THE TOP OF THE FRAME.
2. THROUGH WALL FLASHING SHALL BE INSTALLED AT ALL WINDOW AND DOOR HEAD TRIM.
3. FLASH WINDOWS PER EXTERIOR GLAZING MANUFACTURERS STANDARD DETAILS. FIELD MOCKUP ONE WINDOW AND ONE DOOR INSTALLATION FOR ARCHITECTS REVIEW AND APPROVAL.



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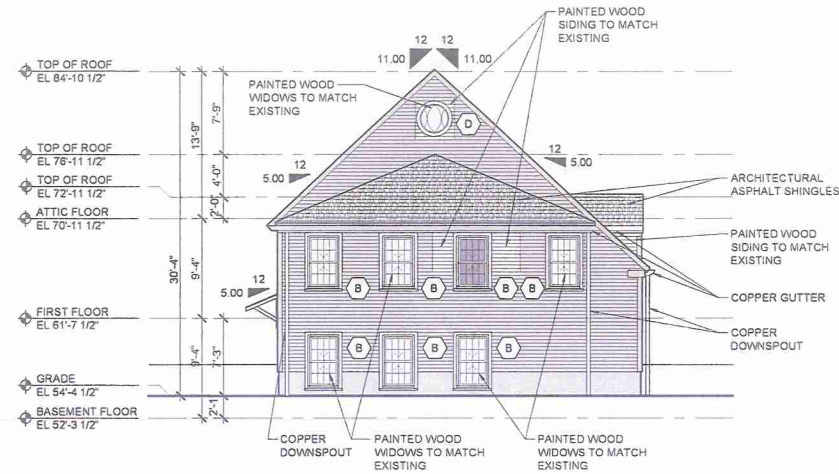
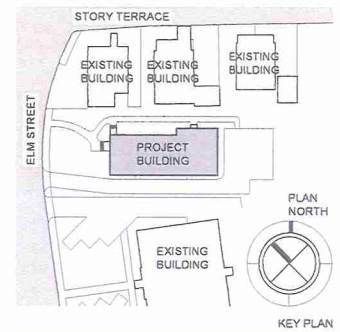
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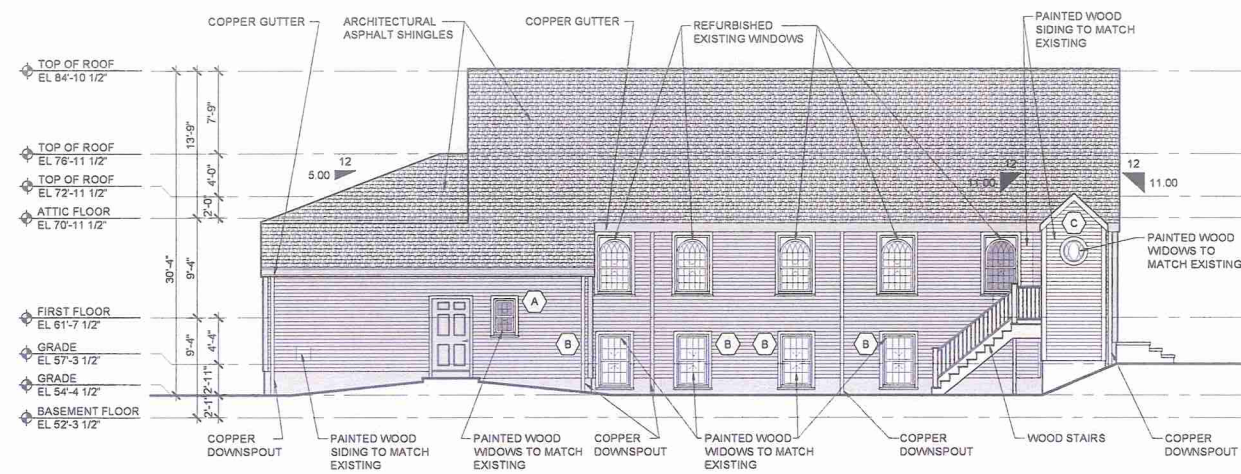


ELM STREET RESIDENCES

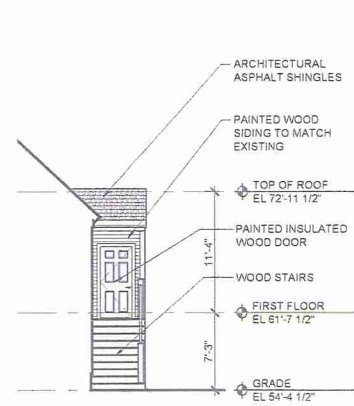
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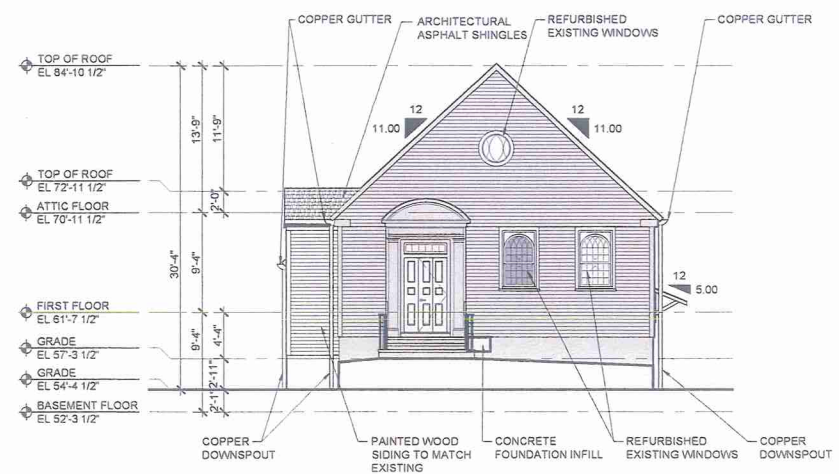
23 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



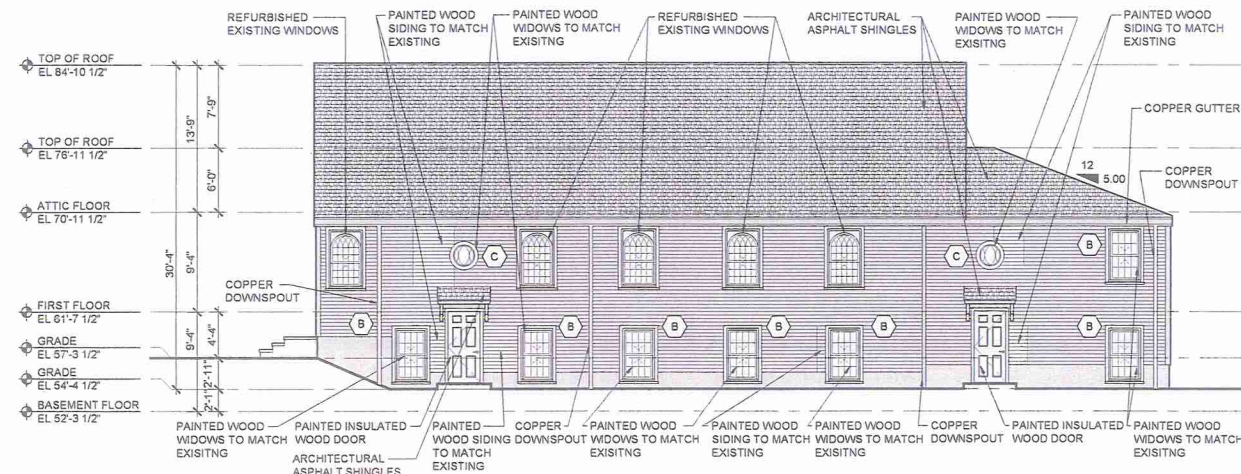
21 EXTERIOR ELEVATION - NORTH
SCALE: 1/8" = 1'-0"



14 EXTERIOR ELEVATION - EAST
SCALE: 1/8" = 1'-0"



13 EXTERIOR ELEVATION - WEST
SCALE: 1/8" = 1'-0"



11 EXTERIOR ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"

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EXTERIOR ELEVATIONS

PROJECT NUMBER	DRAWING NUMBER
2023016	A301
DRAWING SCALE	DATE ISSUED
1/8" = 1'-0"	02/06/24