



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3

207 APR 20 AM 9:09

Town Clerk

Project Address 12 Goodwins Court

Assessor Map(s) 1666 Parcel Number(s) 666A

OWNER INFORMATION

Signature Christine Buckley date 4/14/21

Name (printed) Christine Buckley

Address 12 Goodwins Court

Phone Numbers: home 617-827-1701 work _____

E-mail cb363.christine@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature _____ date _____

Name (printed) _____

Address _____

Phone Numbers: home _____ work _____

E-mail _____ fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEE ATTACHED

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 4-14-21

2. Town Clerk's stamp (upper right corner)

Reviewed by
Building Department
For Zoning Board
Of Appeals

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 12 GOODWINS CT Map(s) / Parcel(s) 106/60A

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) SINGLE-FAMILY DWELLING

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☒ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☒ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☒ Other Non-conformities (explain) EXISTING STREET ENCRoACHMENT
- ☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
- ☐ Lot Width - Less than required (§200-7)
- ☐ Frontage - Less than required (§200-7 and Table 2)
- ☐ Front Yard Setback - Less than required (Table 2)
- ☒ Rear Yard Setback - Less than required (Table 2)
- ☒ Side Yard Setback - Less than required (Table 2)
- ☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
- ☒ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
- ☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
- ☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
- ☐ Other Non-conformities (explain) _____
- ☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>
Historic District Commission	Yes <input checked="" type="checkbox"/>	No <input type="checkbox"/>
Planning Board	Yes <input type="checkbox"/>	No <input checked="" type="checkbox"/>

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DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official [Signature] Date 4-14-2021

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 12 GOODWIN'S CT

Map(s) / Parcel(s) 1606/160A

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

Area of features

footprint of accessory building(s)

footprint of building

footprint of deck(s), porch(es), step(s), bulkhead(s)

number of required parking spaces 1 x (9' x 18' per space)

area of pond(s), or tidal area(s) below MHW

other areas (explain) _____

Sum of features = B

Net Open Area (NOA) = (A - B)

GROSS FLOOR AREA (GFA)

accessory structure(s)

basement or cellar (area > 5' in height)

1st floor (12' or less in height) NOTE: [for heights exceeding

2nd floor (12' or less in height) 12' see definition

3rd floor (12' or less in height) of STORY §200-7]

4th floor (12' or less in height)

attic (area > 5' in height)

area under deck (if > 5' in height)

roofed porch(es)

Gross Floor Area (GFA) = sum of the above areas

Proposed total change in GFA = (proposed GFA - existing GFA)

= +7

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100

= 0.67 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

= 0.11

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

= 0.11

This worksheet applies 1. plan by/dated KYPPOOT DESIGN, INC. 4/14/21
 to the following plan(s): 2. plan by/dated NORTH SHORE SURVEY MARCH 22, 2021

3. plan by/dated _____

Reviewed by
 Building Department
 For Zoning Board
 Of Appeals

Building Official

[Signature]

Date 4-14-2021

ZONING BOARD OF APPEALS

Applicant: Christine Buckley

Reviewed by
Building Department
For Zoning Board
Of Appeals

Address: 12 Goodwins Court (Map 166, Parcel 66A)

District: Shoreline Central Residence

Relief: We are requesting a Special Permit to construct a spiral stair with landing to an existing home. The home sits on a lot with less than the required lot area, exceeds the side and rear setbacks (the structure sits directly on the lot lines), has undersized parking, and fails to meet the required OAR.

The proposed stair and landing would exceed the left side setback (stair) by 8.6' and the rear setback (landing) by 7.9'.

With a net increase of 7 sf at the landing, the proposed structure would increase the overall GFA by 0.67% and leaves the NOA effectively unchanged (-.0007)

Proposal: The proposal before the board involves the removal of an existing narrow and steep wooden ladder that provides access to the existing roof deck and to replace it with a 4'-6" diam. spiral staircase and landing.

We are also proposing to replace the existing roof deck finishes and lower roof deck post and rope railings with new systems as shown. We are proposing to replace 2 windows in the home, remove 1 window at the second floor level, and add a new door to access the low roof deck (this is currently accessed through a casement window).



**Town of Marblehead
Zoning Board of Appeals**

Mary Alley Municipal Building
7 Widger Road
Marblehead, MA 01945
Telephone: 781-631-1529
Fax: 781-631-2617

**PAYMENT OF LEGAL ADVERTISEMENT
ACKNOWLEDGEMENT FORM***

M.G.L. Chapter 40A, Zoning, Section 11, mandates that hearings must be advertised in a local newspaper. The Town of Marblehead requires that the applicant, or the applicant's representative, pay for the advertisements.

Name of party responsible for the payment of the advertisement:

Address:

Phone Number:

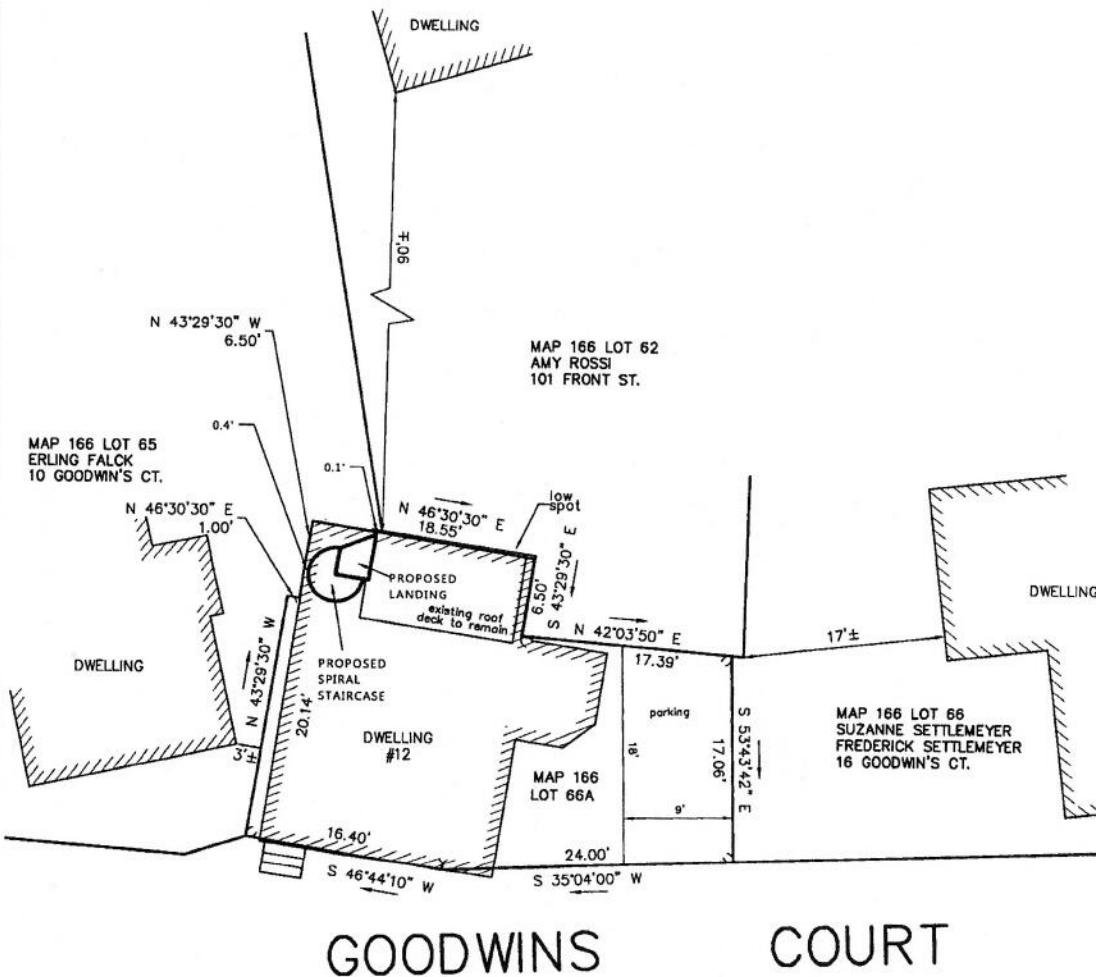
Email:

Signature of Property Owner, or Authorized Representative:

***Please note the party responsible for payment will be billed directly from the advertising newspaper, in most instances the Marblehead Reporter, or the Salem News**

ZONING DISTRICT - SHORELINE CENTRAL RESIDENCE

	REQUIRED	EXISTING	PROPOSED ADDITION
LOT AREA	7500	861±	861±
FRONTAGE	35	40.00'	40.00'
FRONT	N	0	N/A
SIDE	9	0	0.4'
REAR	8	0	0.1'
BLDG HEIGHT	30	23.8'	23.8'



THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.

Reviewed by
Building Department
For Zoning Board
Of Appeals

ZONING BOARD OF APPEALS PLAN

12 GOODWINS COURT

MARBLEHEAD

PROPERTY OF

CHRISTINE BUCKLEY

SCALE 1" = 10' MARCH 22, 2021

NORTH SHORE SURVEY CORPORATION

14 BROWN ST. - SALEM, MA

(978) 744-4800

5156

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For Zoning Board
Of Appeals

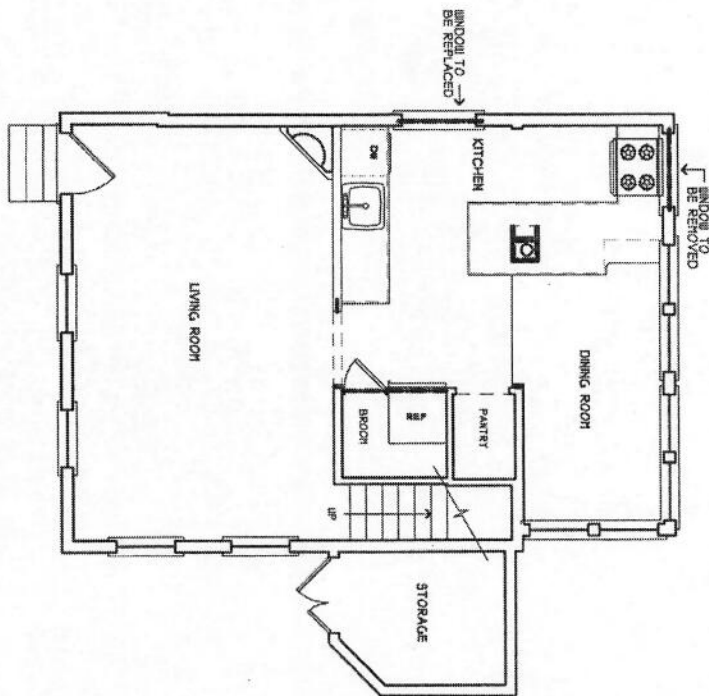
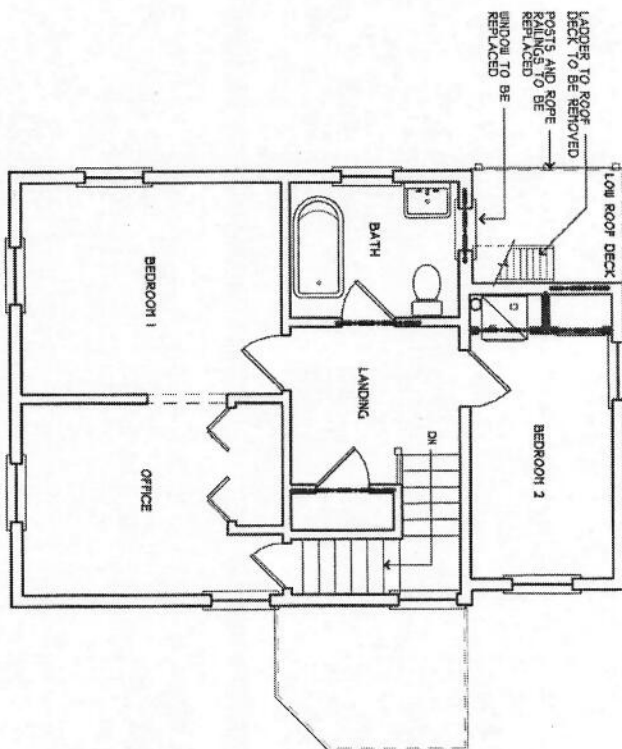
BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

TAPROOT
DESIGN
INC.

37 Birch Street
Marblehead, MA 01945
Tel 781.639.4616
Cell 781.604.8304

scale: 3/16"=1'-0"
date: 04/14/21
drawn by: VLH

Ex-1



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BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

TAPROOT
DESIGN
INC.

37 Birch Street
Marblehead, MA 01945

Tel 781.639.4616
Cell 781.664.2304

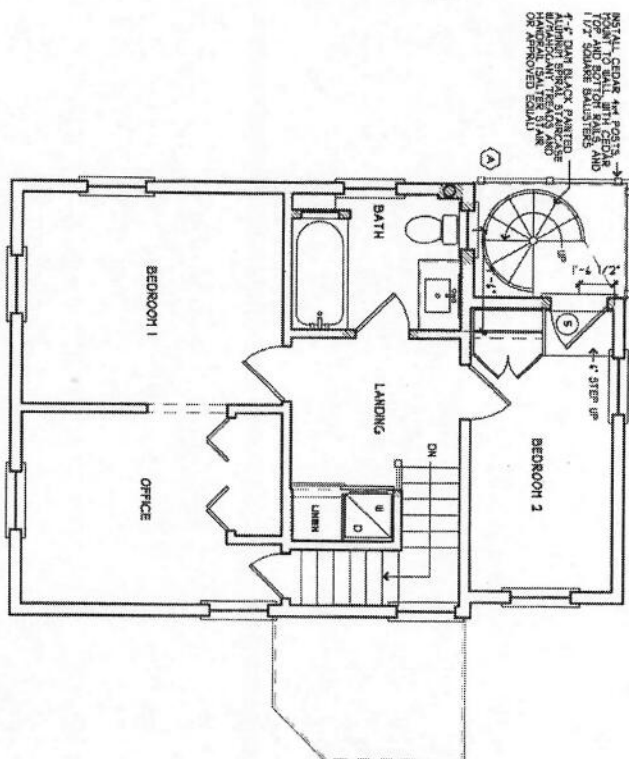
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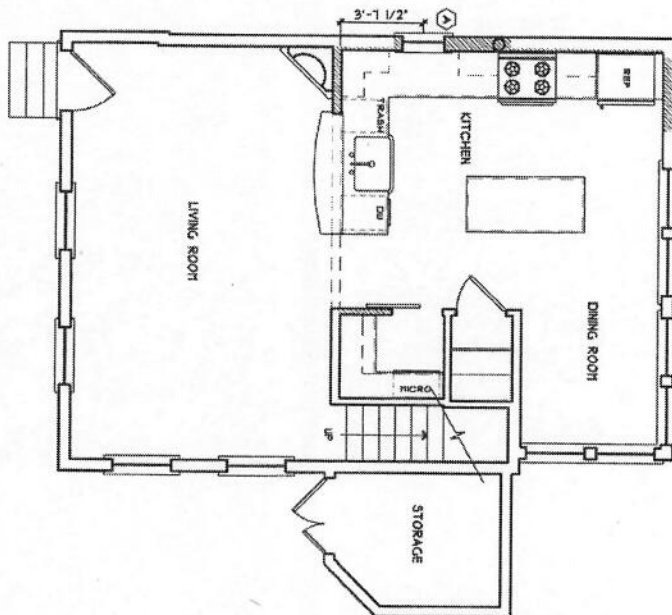
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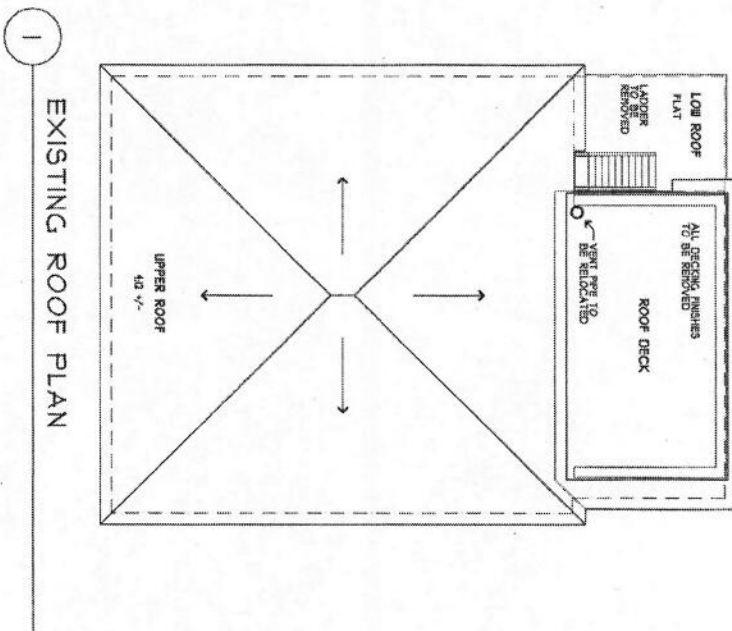
A-1

2 PROPOSED SECOND FLOOR PLAN



1 PROPOSED FIRST FLOOR PLAN



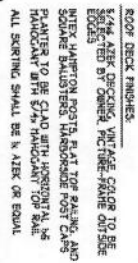


Reviewed by Building Department For Zoning Board Of Appeals	BUCKLEY RESIDENCE 12 GOODWINS CT MARBLEHEAD, MASSACHUSETTS	TAPROOT DESIGN INC. 37 Birch Street Marblehead, MA 01945 Tel 781.639.4616 Cell 781.864.2304 scale: 3/16"=1'-0" date: 04/14/21 drawn by: VLH	Ex. 2
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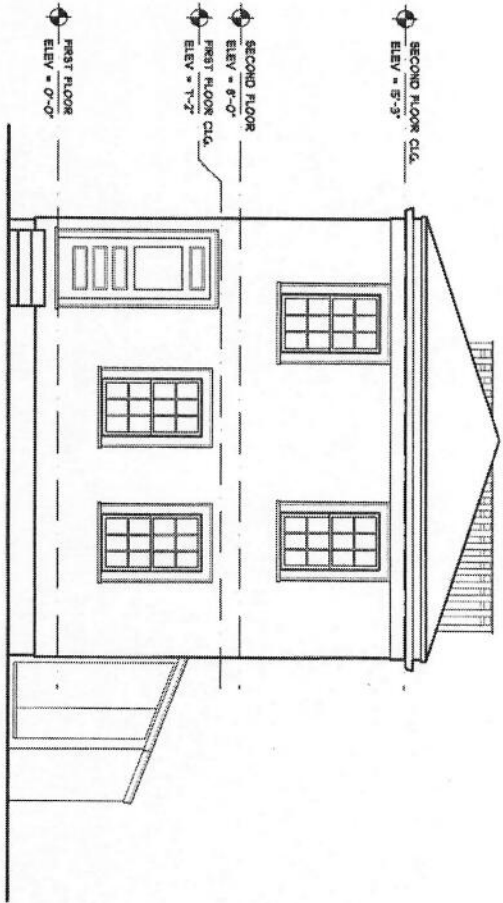
BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

37 Birch Street
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Tel 781.639.4616
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scale: $3/16"=1'-0"$
date: 04/14/21
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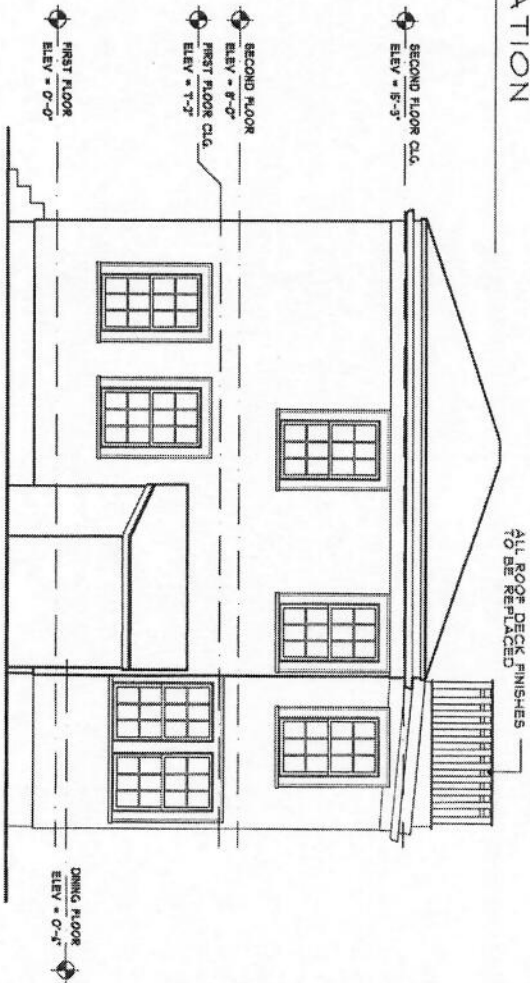
24



PROPOSED ROOF PLAN



1 EXISTING FRONT ELEVATION



2 EXISTING RIGHT SIDE ELEVATION

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BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

TAPROOT
DESIGN
INC.

37 Birch Street
Marblehead, MA 01945

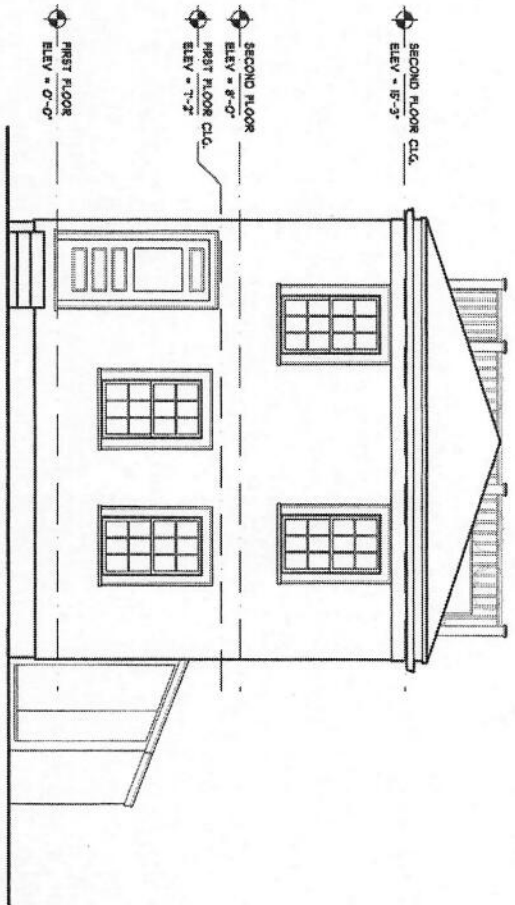
Tel 781.639.4618
Cell 781.664.2304

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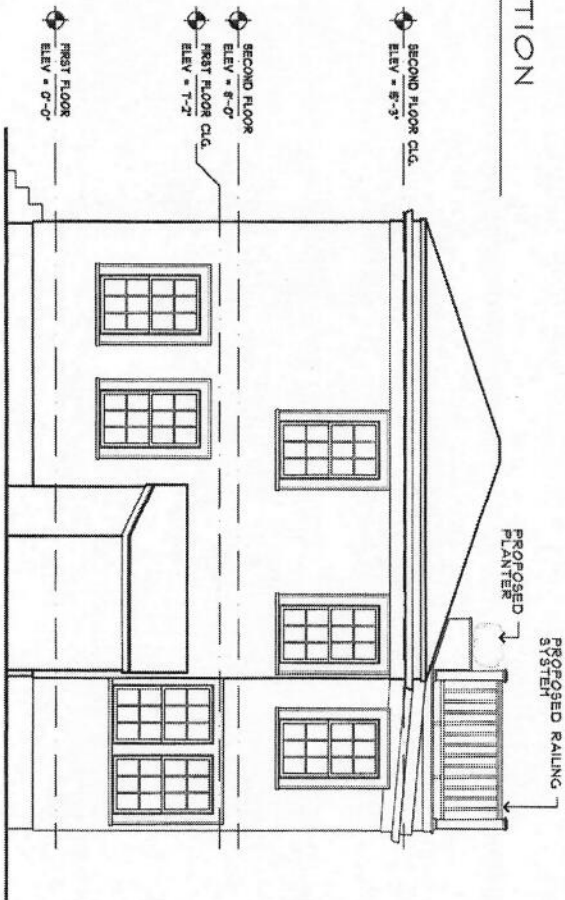
date: 04/14/21

drawn by: V/LH

EX-3



1 PROPOSED FRONT ELEVATION



2 PROPOSED RIGHT SIDE ELEVATION

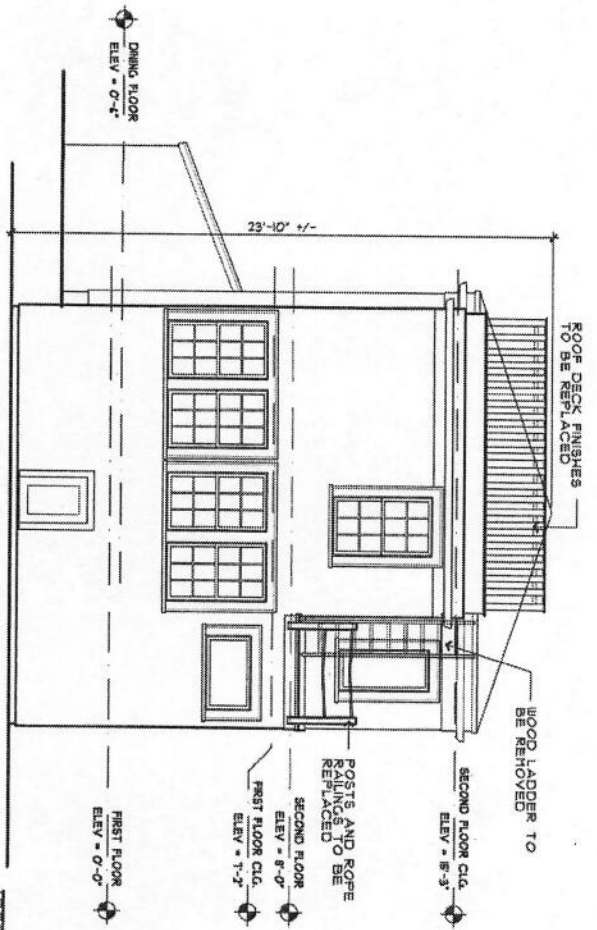
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BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

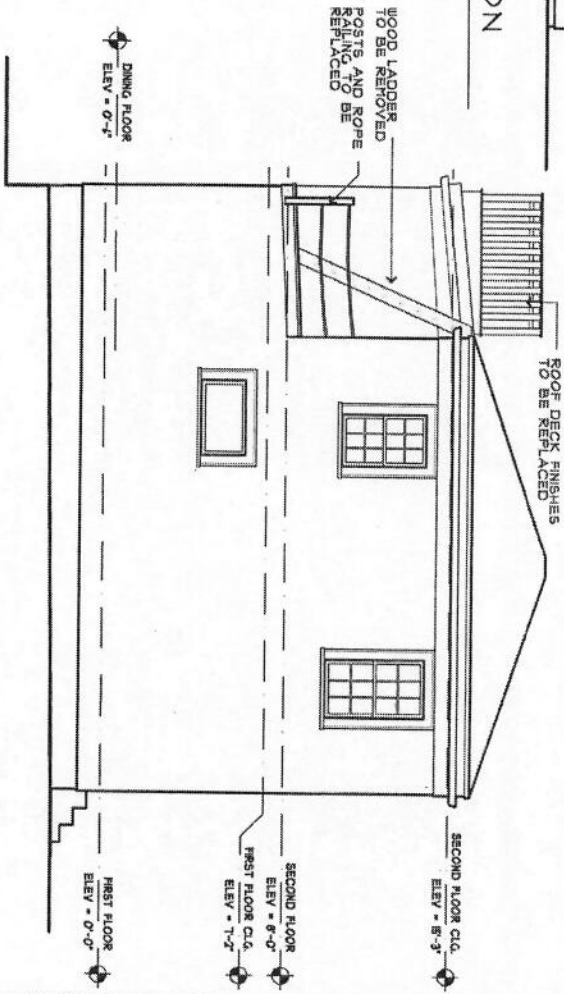
TAPROOT
DESIGN
INC.

37 Birch Street
Marblehead, MA 01945
Tel 781.638.4616
Cell 781.894.2304
scale: 3/16"=1'-0"
date: 04/14/21
drawn by: VLH

A.3



1 EXISTING REAR ELEVATION



2 EXISTING LEFT SIDE ELEVATION

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For Zoning Board
Of Appeals

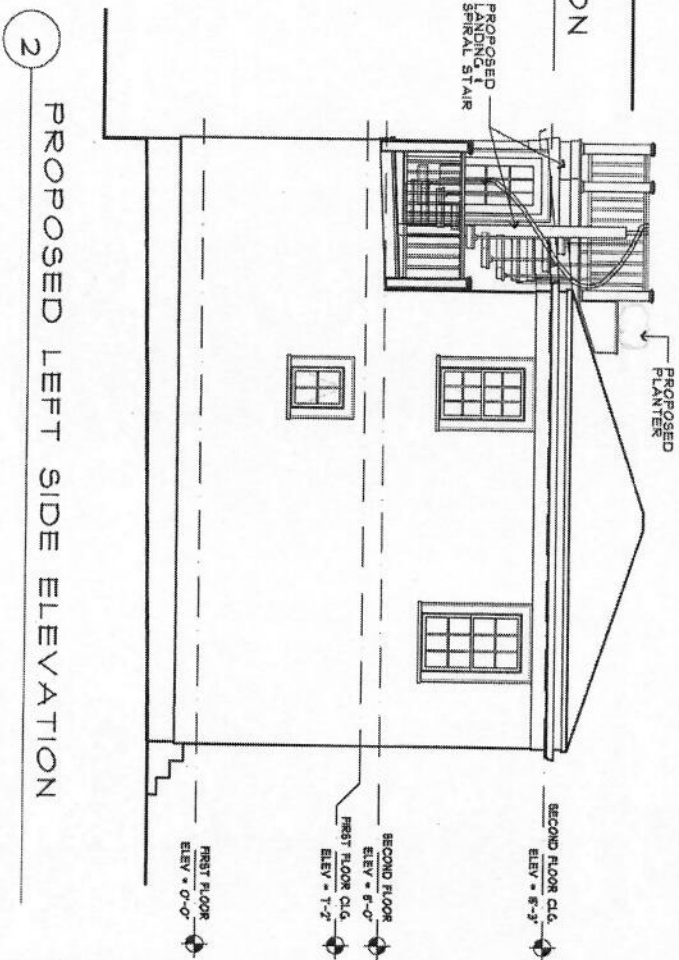
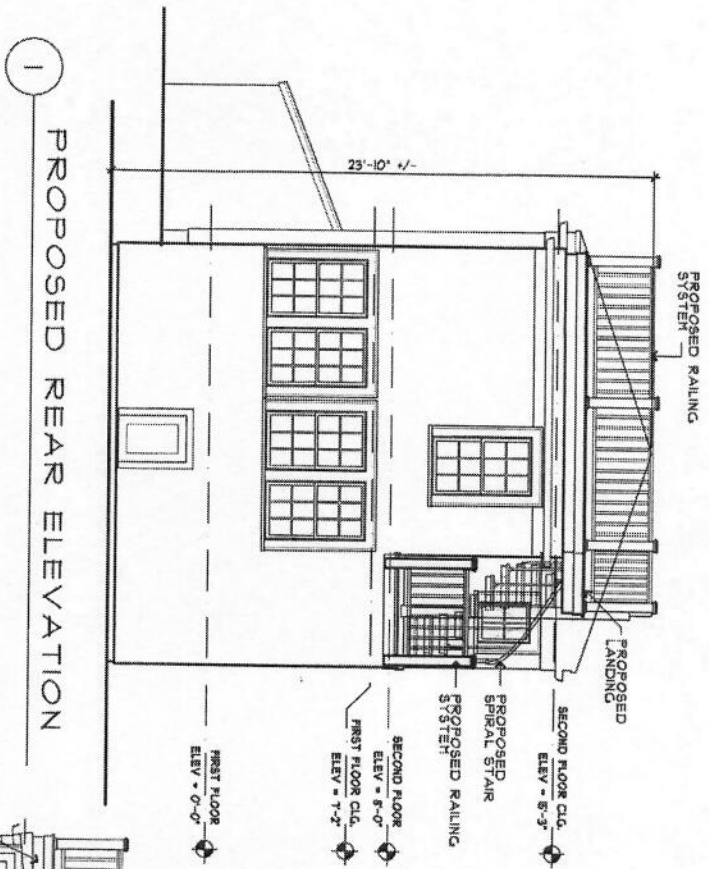
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Ex. 4



BUCKLEY RESIDENCE
12 GOODWINS CT
MARBLEHEAD, MASSACHUSETTS

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37 Birch Street
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Reviewed by:
Building Department
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V.L.H.