



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3

2021 APR 20 AM 8:51

Town Clerk

Project Address 9 Treat Road, Marblehead, MA 01945
Assessor Map(s) 68 Parcel Number(s) 5 - 0

OWNER INFORMATION

Signature [Signature] date April 14, 2021
Name (printed) Joshua Henry Kline
Address 9 Treat Road, Marblehead, MA 01945
Phone Numbers: home 781-389-6327 work 607-624-0415
E-mail joshhkline@gmail.com fax -

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date April 14, 2021
Name (printed) Robert C. McCann McCann & McCann, P.C.
Address 89 Newbury Street, Suite 302, Danvers, MA 01923
Phone Numbers: home - work 978-739-8484
E-mail rmccann@mccannlaw.com fax 978-739-8455

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEE ATTACHED

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature]

2. Town Clerk's stamp (upper right corner)

Reviewed by
Building Department
For Zoning Board
Of Appeals

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

PROJECT DESCRIPTION & RELIEF REQUESTED

9 Treat Road, Marblehead, MA 01945
Joshua Henry Kline

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The Applicant requests that the Zoning Board of Appeals issue a Special Permit under the Zoning By-Laws allowing certain additions and modifications to the pre-existing nonconforming single-family dwelling which has less than the required Front Yard Set Back and Side Yard Set Back on a pre-existing non-conforming Lot which has less than the required Lot Area, Lot Width and Lot Frontage (on Pierce Street only) on the property located at **9 TREAT ROAD** in a **SINGLE RESIDENCE DISTRICT**. The construction will be partially within the Front Yard Set Back, the Side Yard Set Back and will increase the Gross Floor Area by more than ten (10%) percent with a resulting Open Space Ratio of 1.35: 1.00.

DETAILS OF REQUESTS

The proposal is to substantially renovate the interior of the existing single-family dwelling and to further:

- Construct a partial new crawl space in the basement
- Remove the existing front steps and construct a new front entry and porch
- Construct an addition to the first floor
- Construct a new rear deck with stairs
- Construct an expanded second floor
- Miscellaneous other work as detailed on the submitted plans

The increase in Gross Square Footage is 1,923 Square Feet with a resulting change in the GFA of 70.18% and the Open space Ratio is being changed from 2.53 : 1.0 to 1.35 : 1.0

There is an existing drain shown on the Survey as 'EXISTING DRAIN EASEMENT TO BE RELOCATED' which is going to be relocated to the area with the permission of the Marblehead Drain Department to the area on the Survey shown as "PROPOSED DRAIN EASEMENT".

Page 2 of 3

Project Address 9 Treat Road, Marblehead, MA Map(s) / Parcel(s) 68 / 5 - 0

B B1 BR CR SCR ECR GR SGR **SR** SSR ESR SESR HBR U SU

CURRENT USE (explain) _____ Single-Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain)

PROPOSED CHANGE OF USE

No X Yes _____ (explain)

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No X

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

X Lot Area - Less than required (§200-7 and Table 2)

~~X~~ Lot Width - Less than required (§200-7)

~~X~~ **Frontage** - Less than required (§200-7 and Table 2)

~~X~~ **Front Yard Setback** - Less than required (Table 2)

Rear Yard Setback - Less than required (Table 2)

X Side Yard Setback - Less than required (Table 2)

Height - Exceeds maximum allowed (§200-7 and Table 2)

Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

Other Non-conformities (combine):

_____ **Other Non-conformities** (explain)

No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

Lot Area - Less than required (§200-7 and Table 2)

 Lot Width - Less than required (§200-7)

Frontage - Less than required (§200-7 and Table 2)

X **Front Yard Setback** - Less than required (Table 2)

Rear Yard Setback - Less than required (Table 2)

X **Side Yard Setback** - Less than required (Table 2)

— **Height** - Exceeds maximum allowed (§200-7 and Table 2)

Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

☒ Exceeds 10% Expansion Limit of _____

X Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)

Other Non-conformities (explain)

No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission

Yes _____ No y

Historic District Commission

Yes _____ No ~~_____~~
v

Planning Board

Yes No ~~X~~
 ~~X~~

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DESIGN & SURVEY PLANS MEET-ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No (explain)

Building Official

Date 4-16-2021

Town of Marblehead
ZBA-APPLICATION
Page 3 of 3

Revision Date: 12-02-2020

Project Address 9 Treat Road, Marblehead, MA Map(s) / Parcel(s) 68 / 5 - 0

NET OPEN AREA (NOA)

	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	<u>8,760</u>	<u>8760</u>
Area of features		
footprint of accessory building(s)	<u>401</u>	<u>401</u>
footprint of building	<u>967</u>	<u>1,445</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>137</u>	<u>307</u>
number of required parking spaces <u>2</u> x (9' x 18' per space)	<u>324</u>	<u>324</u>
area of pond(s), or tidal area(s) below MHW	<u>0</u>	<u>0</u>
other areas (explain) _____	<u>0</u>	<u>0</u>
Sum of features = B	<u>1,829</u>	<u>2,477</u>
Net Open Area (NOA) = (A - B)	<u>6,931</u>	<u>6,283</u>

GROSS FLOOR AREA (GFA)

accessory structure(s)	<u>401</u>	<u>401</u>
basement or cellar (area > 5' in height)	<u>981</u>	<u>996</u>
1st floor (12' or less in height) NOTE: [for heights exceeding	<u>967</u>	<u>1,445</u>
2nd floor (12' or less in height) 12' see definition	<u>391</u>	<u>1,344</u>
3rd floor (12' or less in height) of STORY §200-7]	<u>0</u>	<u>0</u>
4th floor (12' or less in height)	<u>0</u>	<u>0</u>
attic (area > 5' in height)	<u>0</u>	<u>377</u>
area under deck (if > 5' in height)	<u>0</u>	<u>0</u>
roofed porch(es)	<u>0</u>	<u>100</u>
Gross Floor Area (GFA) = sum of the above areas	<u>2,740</u>	<u>4,663</u>

Proposed total change in GFA = (proposed GFA - existing GFA) = 1,923

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 70.18 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 2.53

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1.35

This worksheet applies 1. plan by/dated North Shore Survey dated February 17, 2021
to the following plan(s): 2. plan by/dated Tucker Architecture and Landscape dated April 10, 2021
3. plan by/dated _____

Building Official _____

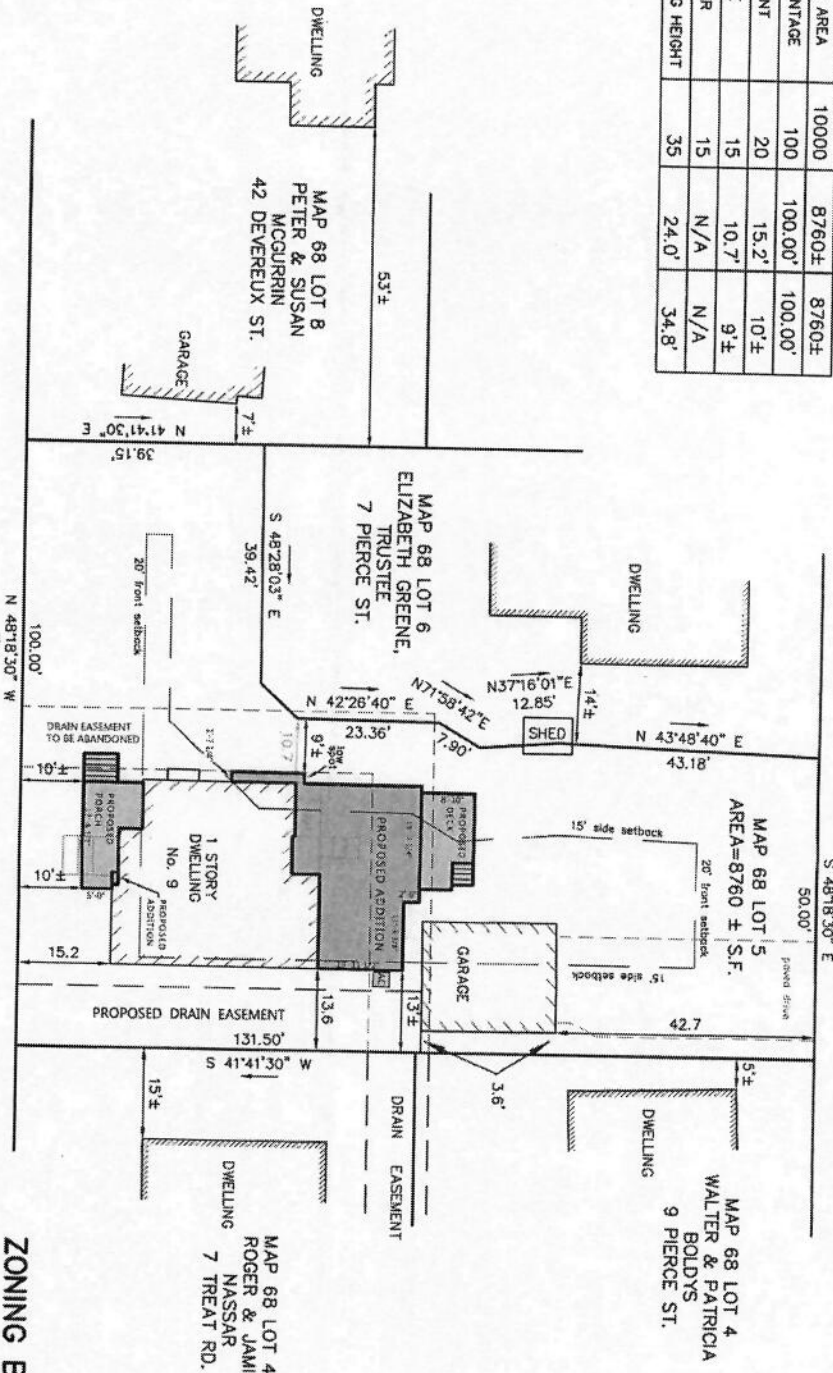
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For Zoning Board
Of Appeals

Date 4-16-2021

ZONING DISTRICT - SINGLE RESIDENCE

	REQUIRED	EXISTING	PROPOSED
LOT AREA	10000	8760±	8760±
FRONTAGE	100	100.00'	100.00'
FRONT	20	15.2'	10'±
SIDE	15	10.7'	9'±
REAR	15	N/A	N/A
BLDG HEIGHT	35	24.0'	34.8'

PIERCE STREET



TREAT ROAD

THIS PLAN IS THE RESULT
OF AN INSTRUMENT SURVEY.

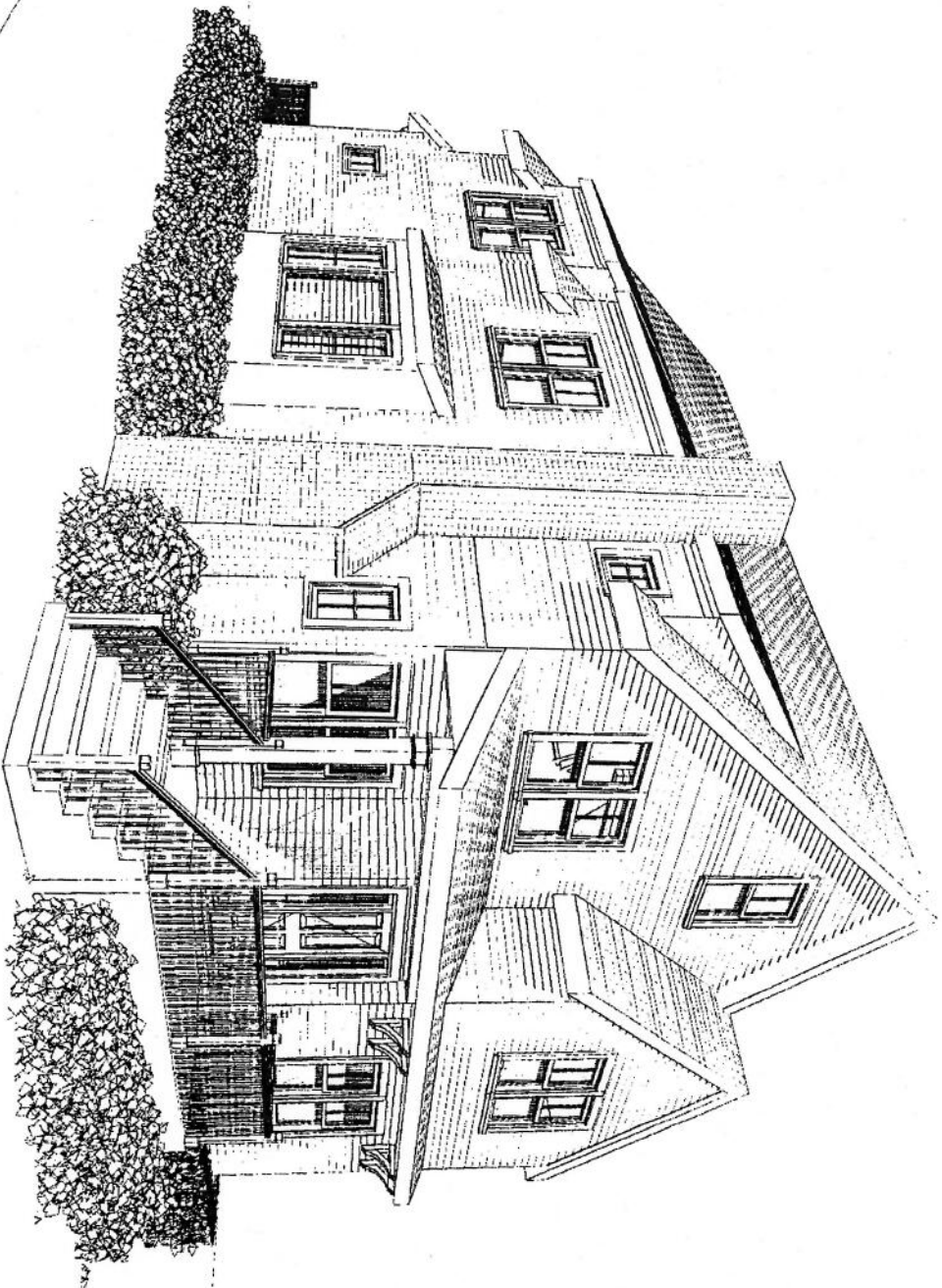


ZONING BOARD OF APPEALS PLAN


MARBLEHEAD

PREPARED FOR
SKYLAR FRISCH & JOSHUA KLINE
SCALE 1" = 20' FEBRUARY 17, 2021
NORTH SHORE SURVEY CORPORATION
14 BROWN ST. - SALEM, MA
(978) 744-4800

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DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY


T U C K E R
 Architecture & Landscape
 59 Atlantic Avenue, Marshfield, MA
 www.TuckerArch.com
 (781) 631-3546
 Tucker Architecture and Landscape LLC

Drawing Index:

CVR	Cover
2	Ex./Proposed Basement Floor Plan
3	Ex./Proposed First Floor Plan
4	Ex./Proposed Second Floor Plan
5	Ex./Proposed Roof Plan
x6	Existing Building Elevations
6	Proposed Building Elevations
x7	Existing Building Elevations
7	Proposed Building Elevations
8	Proposed Building Perspectives

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 2021 04 10 ZBA SET

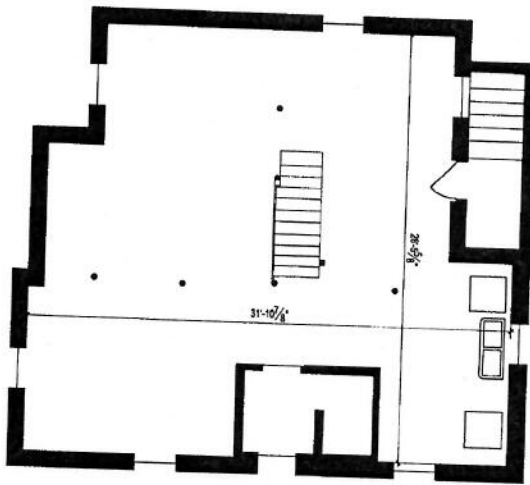
FOR APPROVALS

Kline Residence
 9 Tread Rd, Marshfield

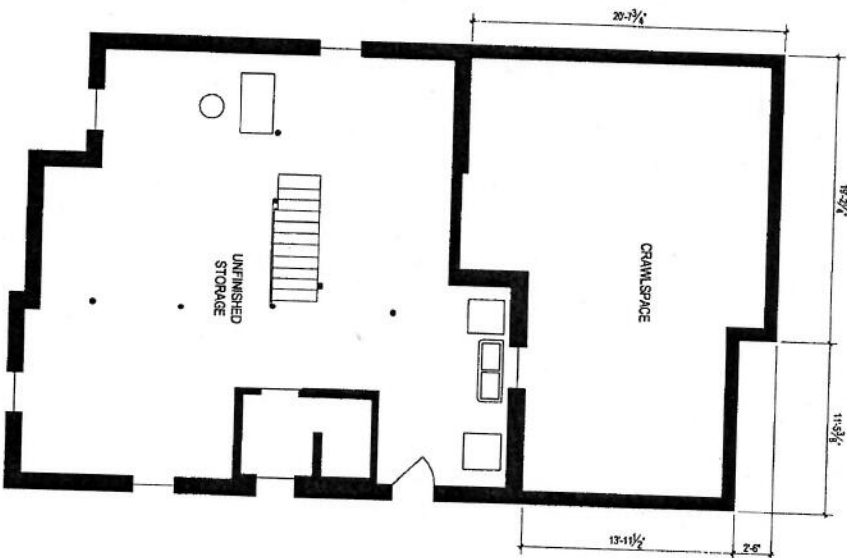
Cover

NOTE: ORIGINAL DRAWINGS SET TO GRAPHIC SCALE | PAGE NO.
 CVR

① Existing Basement Floor Plan
Scale 1/8" = 1'-0"



② Proposed Basement Floor Plan
Scale 1/8" = 1'-0"



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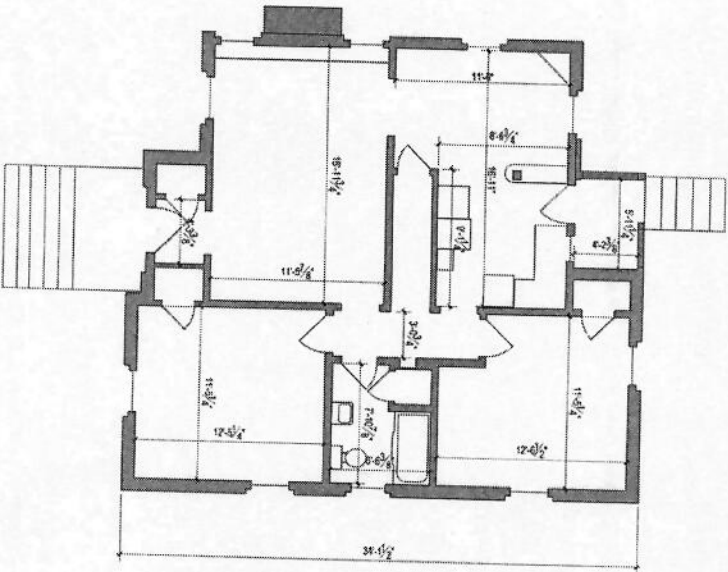
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Kline Residence
9 Treat Rd, Marblehead
Existing/Proposed
Basement Floor Plans

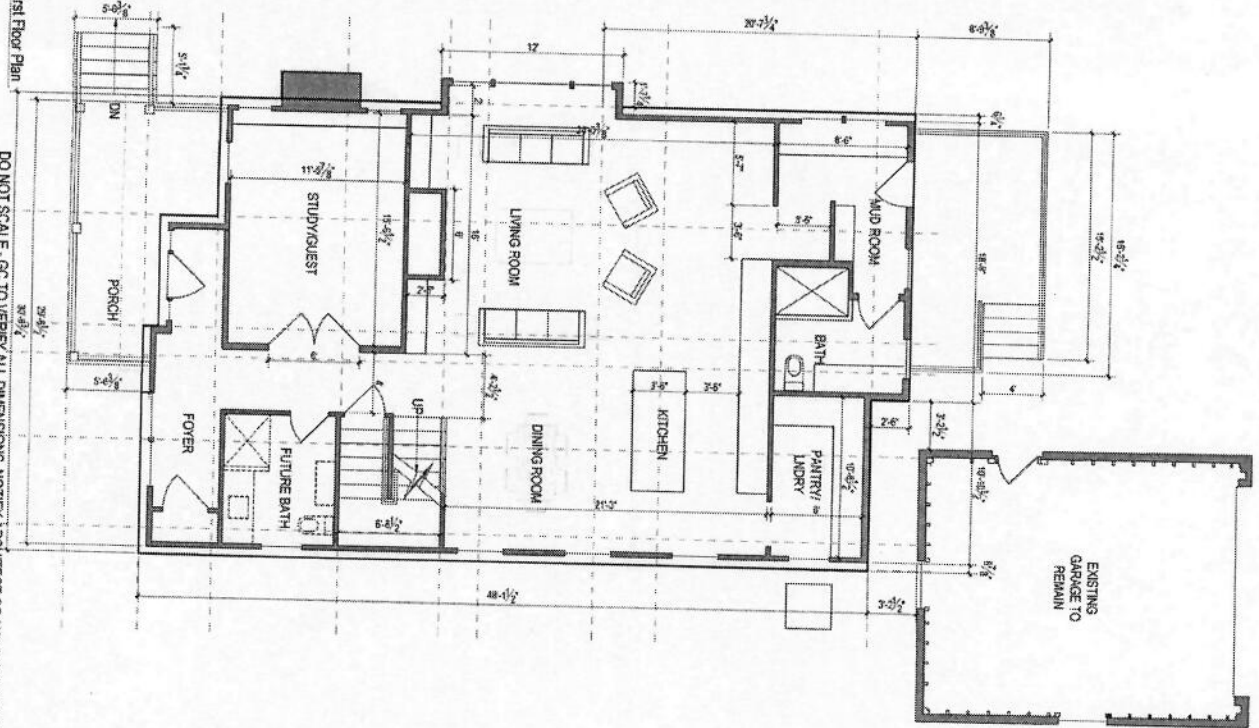
NOTE: ORIGINAL DRAWING SET TO EXACT FULL SCALE
PAGE NO. 2

1 Existing First Floor Plan
Scale: 1/8" = 1'-0"



1 Proposed First Floor Plan
Scale: 1/8" = 1'-0"

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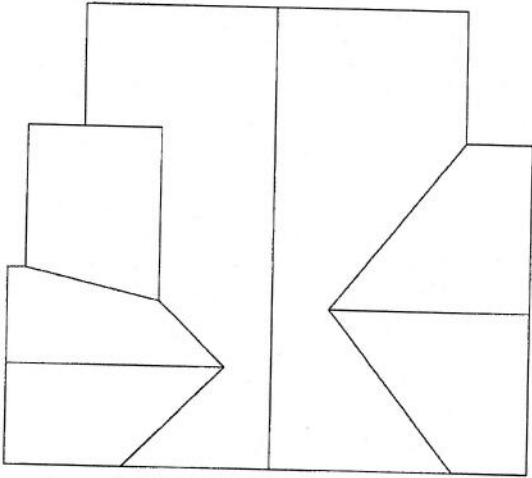
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Kline Residence
9 Treat Rd, Northhead
Existing/Proposed
First Floor Plans

[illegible]

<p style="text-align: center;">  T U C K E R <u>Architecture & Landscape</u> 59 Atlantic Avenue, Marshfield, MA www.TuckerArch.com (781) 651-3546 Tucker Architecture and Landscape, LLC </p>	<p> Reviewed by Building Department For Zoning Board Of Appeals </p> <p> REVISION DATE: 2021 04 10 ZBA SET </p> <p> FOR APPROVALS </p> <p> Kline Residence 9 Treat Rd, Marshfield Existing/Proposed Second Floor Plan </p>	<p> TOTAL ORIGINAL DRAWING SET TO TOTAL FULL SCALE  </p> <p> PAGE NO. 4 </p>
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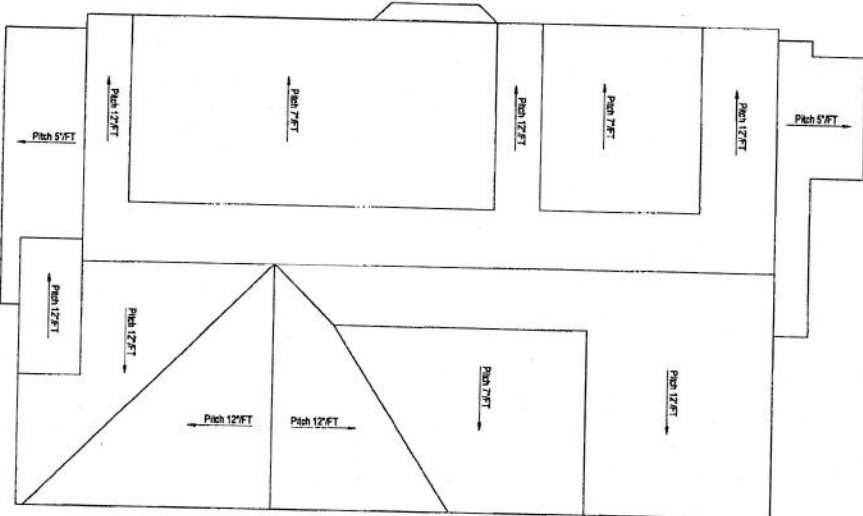
EXISTING RO




2 Proposed Roof Plan
Scale: 1/8"=1'-0"

Seide: 1/6" x 1/4"

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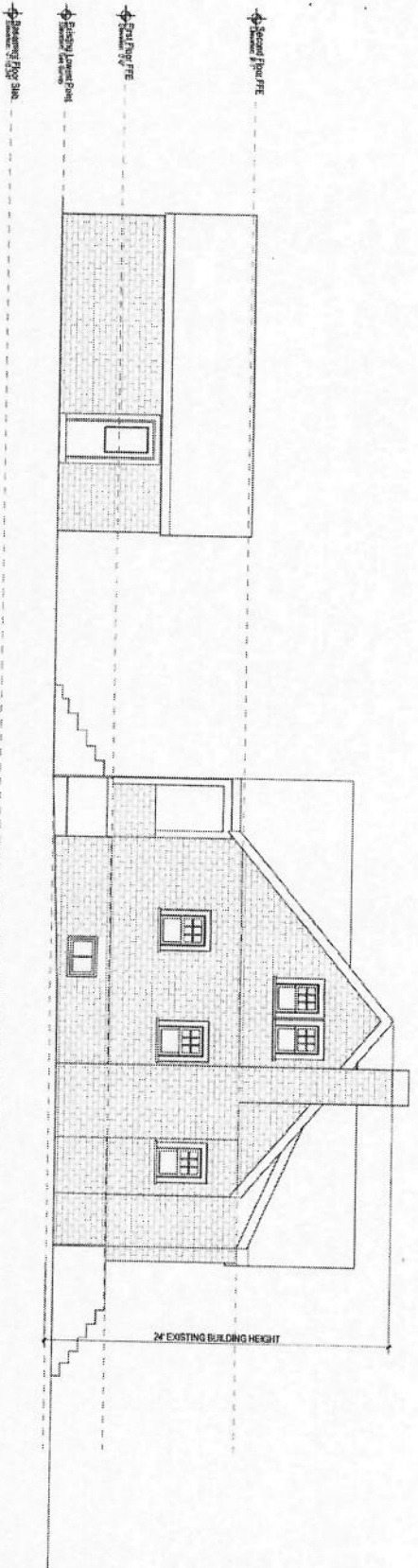
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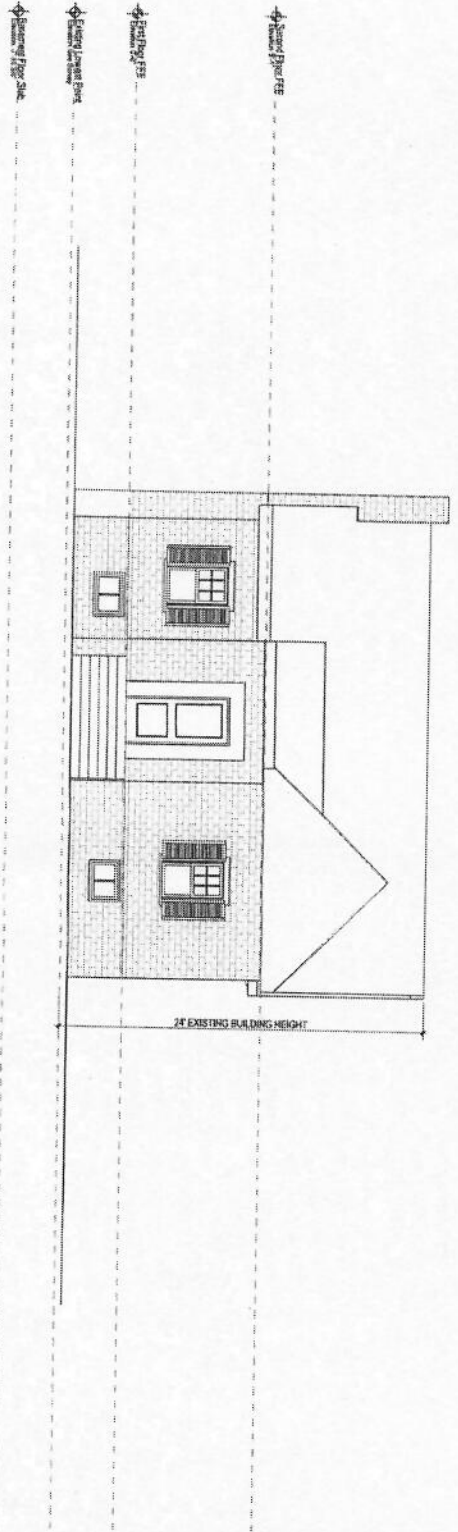
**Kline Residence
9 Treat Rd, Marblehead
Existing/Proposed
Roof Plan**

NOTE: ORIGINAL DRAWING SET TO 2008 FULL SCALE

PAGE NO. 5



1 West Elevation
Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"

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Kline Residence
9 Treat Rd, Marblehead

Existing Building Elevations

NOTE: GRAPHIC DIMENSIONS ARE TO CENTERLINE UNLESS NOTED OTHERWISE
X6

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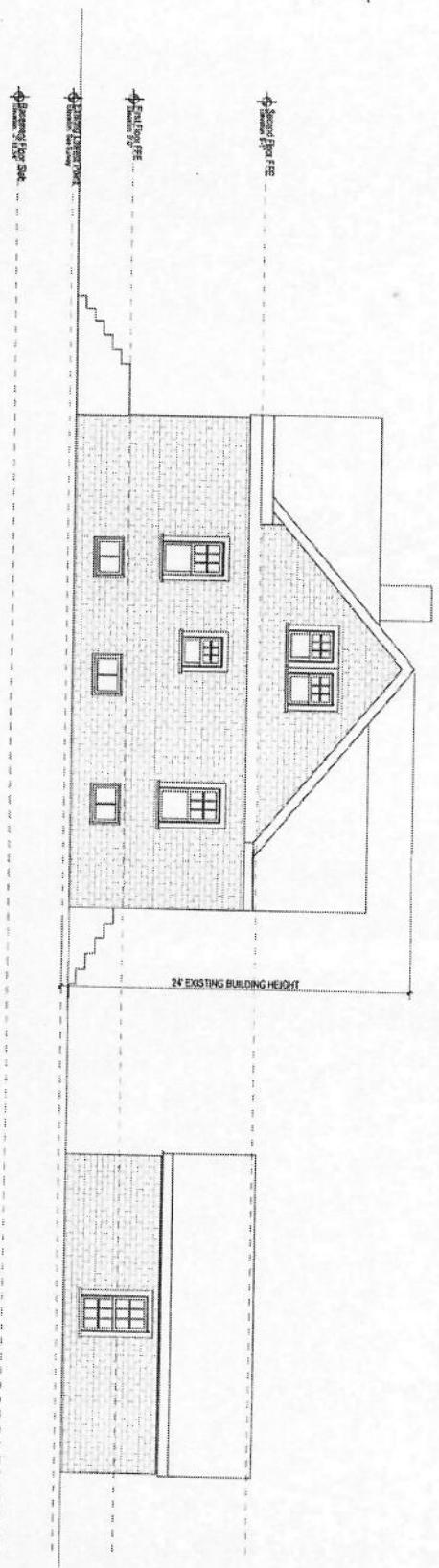
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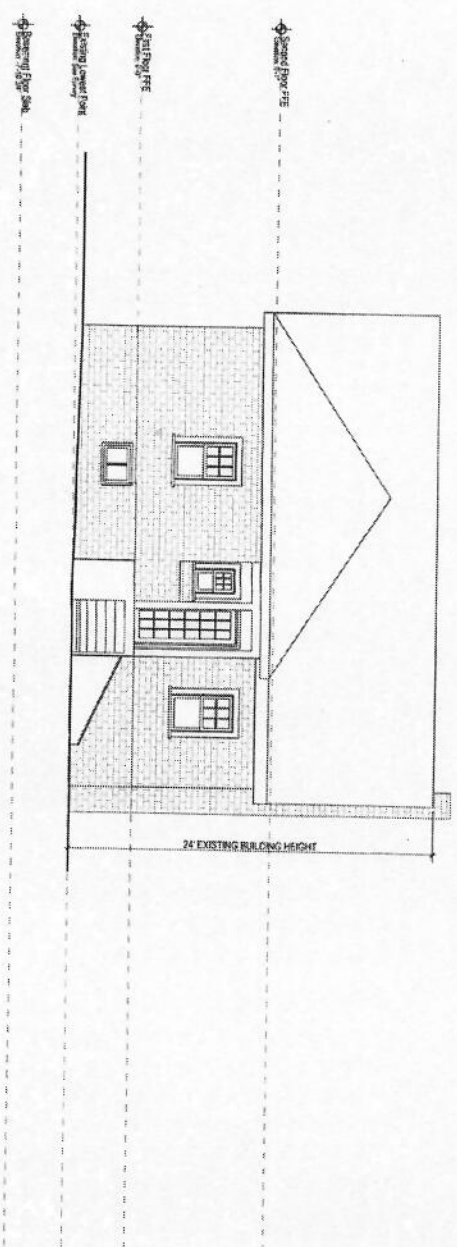
Kline Residence
9 Treat Rd, Marblehead

Proposed Building Elevations

NOTICE: DRAWING, EXAMINED SET TO WORK AS SET. FIELD NO. 6




1 East Elevation
Scale 1/4"=1'-0"



2 North Elevation
Scale 1/4"=1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY


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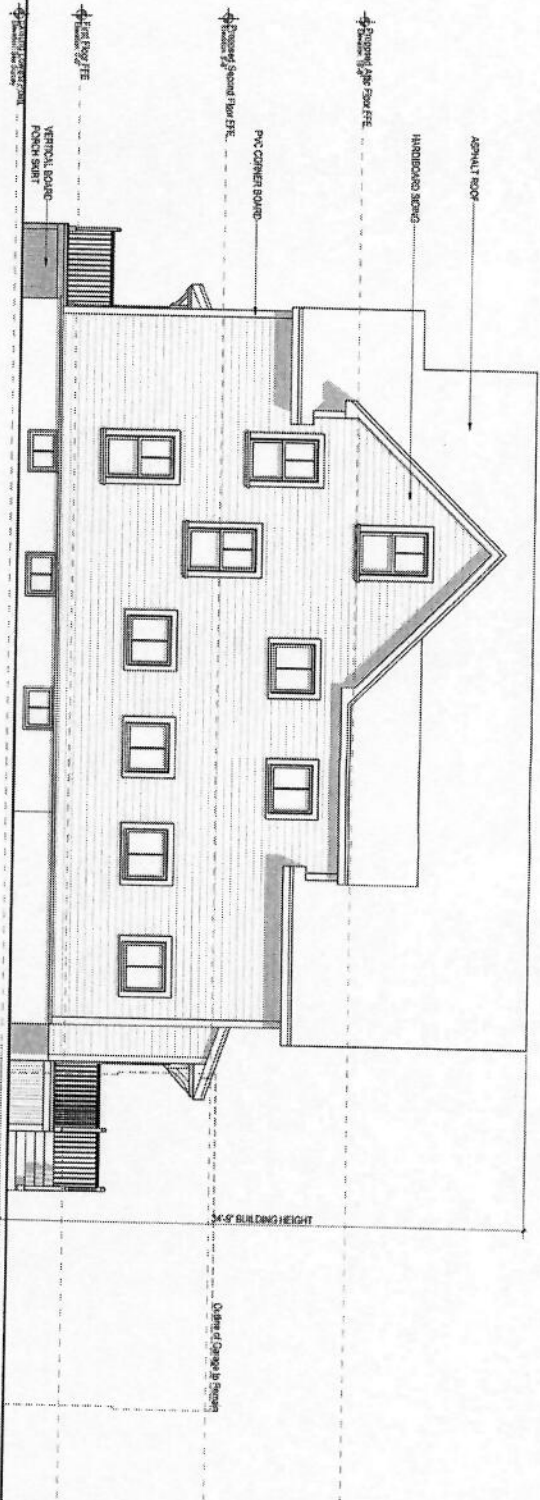
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FOR APPROVALS

Kline Residence
 9 Treat Rd, Marblehead

Existing Building Elevations

PROJECT: EXISTING BUILDING SET TO ARCHITECT'S SCALE
 SHEET NO. X7



1 East Elevation
Scale: 1/8" = 1'-0"



2 North Elevation
Scale: 1/8" = 1'-0"

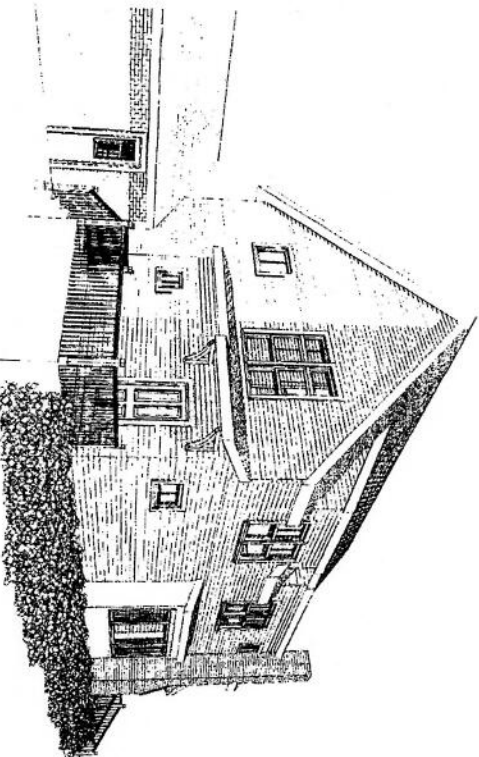
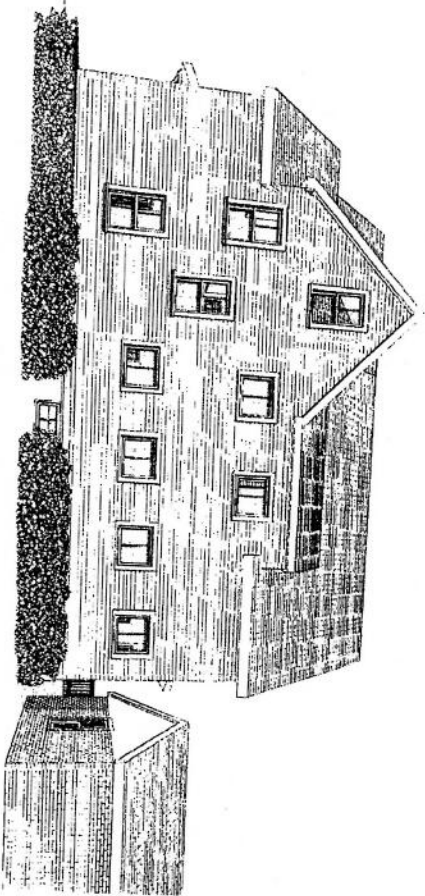
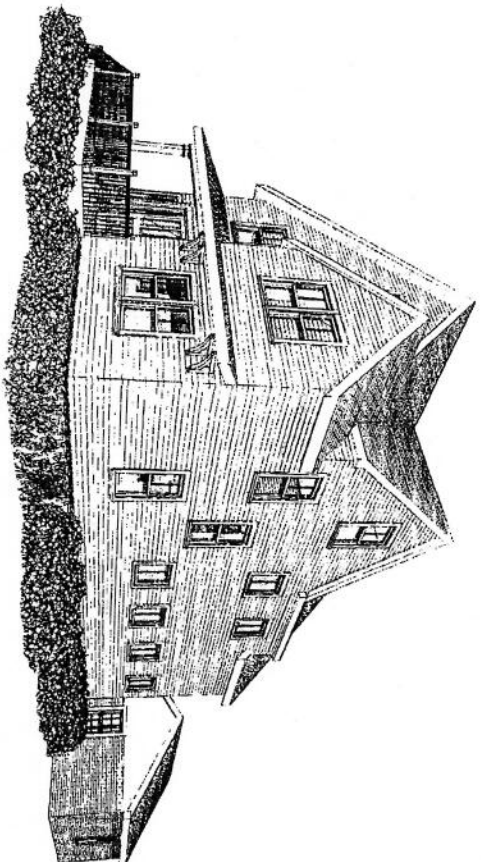
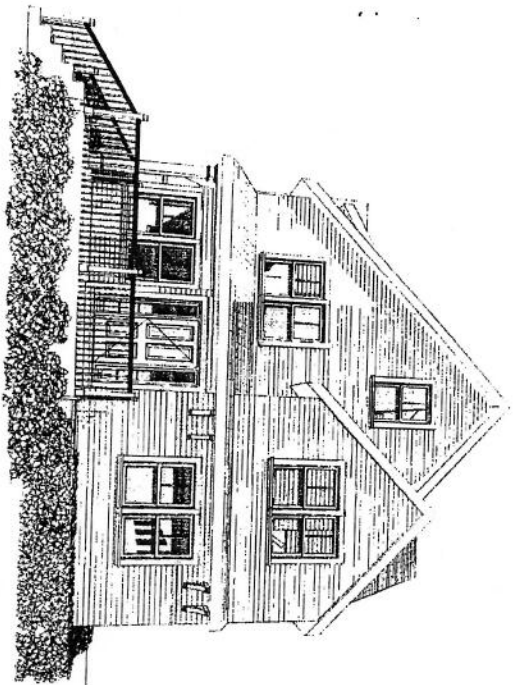
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Kline Residence
9 Treat Rd, Marshfield

Proposed Building Elevations
NOTE: ORIGINAL DRAWING SET TO 200% FULL SCALE
7



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Kline Residence
9 Treat Rd, Marshfield
Proposed Building
Perspectives

NOTE: ORIGINAL DRAWING SET TO 3/8"=1'-0" SCALE
PAGE NO. 8