



TOWN SEAL
tel: 781-631-1529

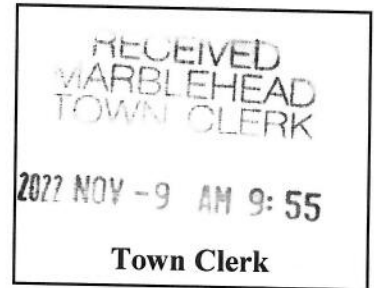
fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 47 Glendale Road

Assessor Map(s) 30 Parcel Number(s) 24

OWNER INFORMATION

Signature _____ date _____

Name (printed) Scott Moore

Address 3 Valley Road, Marblehead, MA 01945

Phone Numbers: home 617-359-7009 work _____

E-mail smoore@kappys.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 11/08/2022

Name (printed) Scott Moore

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct an addition to the existing single-family dwelling on
a lot with less than the required lot area, and front and side yard setbacks.

The construction will exceed the allowed 10% expansion for a non-conforming
building.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature]

2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Reviewed by
Building Department
For Zoning Board
Of Appeals

Town of Marblehead
ZBA-APPLICATION
Page 2 of 3

Revision Date: 12-02-2020

Project Address 47 Glendale Road

Map(s) / Parcel(s) 30/24

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single -Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain) _____

PROPOSED CHANGE OF USE

No _____ Yes X (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes X No _____

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
☐ Lot Width - Less than required (§200-7)
☐ Frontage - Less than required (§200-7 and Table 2)
☒ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☐ Other Non-conformities (explain) _____
☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☐ Lot Area - Less than required (§200-7 and Table 2)
☐ Lot Width - Less than required (§200-7)
☐ Frontage - Less than required (§200-7 and Table 2)
☒ Front Yard Setback - Less than required (Table 2)
☐ Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
☐ Height - Exceeds maximum allowed (§200-7 and Table 2)
☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☒ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
☐ Other Non-conformities (explain) _____
☐ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

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Building Department
For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No _____ (explain) _____

Building Official _____

Date 11-9-2022

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 47 Glendale Road

Map(s) / Parcel(s) 30/24

NET OPEN AREA (NOA)

	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	8,030	8,030
Area of features		
footprint of accessory building(s)	257	257
footprint of building	1,830	1,830
footprint of deck(s), porch(es), step(s), bulkhead(s)	163	107
number of required parking spaces <u>2</u> x (9' x 18' per space)	324	342
area of pond(s), or tidal area(s) below MHW	0	0
other areas (explain) _____	0	0
Sum of features = B	2,574	2,518
Net Open Area (NOA) = (A - B)	5,456	5,512

GROSS FLOOR AREA (GFA)

accessory structure(s)	257	257
basement or cellar (area >5' in height)	1,728	1,728
1st floor (12' or less in height) NOTE: [for heights exceeding	1,830	1,830
2nd floor (12' or less in height) 12' see definition	659	1,670
3rd floor (12' or less in height) of STORY §200-7]	0	0
4th floor (12' or less in height)	0	0
attic (area >5' in height)	0	0
area under deck (if >5' in height)	0	0
roofed porch(es)	0	34
Gross Floor Area (GFA) = sum of the above areas	4,474	5,519

Proposed total change in GFA = (proposed GFA - existing GFA) = 1,045

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 23.36% %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1: 1.22

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1: 1.00

This worksheet applies 1. plan by/dated Tucker Architecture & Landscape / 11/01/2022
 to the following plan(s): 2. plan by/dated North Shore Surve/ 10/25/2022

3. plan by/dated _____

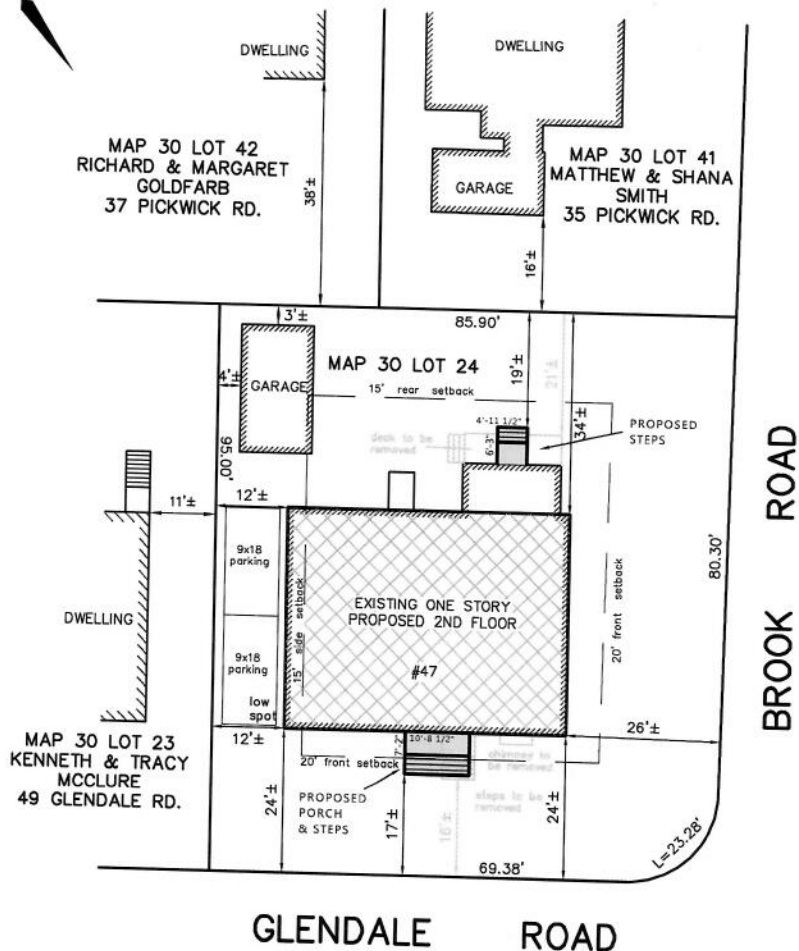
Building Official _____

Date 11-9-2022

Reviewed by
Building Department
For Zoning Board
Of Appeals

ZONING DISTRICT - SINGLE RESIDENCE

	REQUIRED	EXISTING	PROPOSED ADDITION
LOT AREA	10000	8030±	8030±
FRONTAGE	100	85.0'	85.0'
FRONT	20	16'±	17'±
SIDE	15	12'±	12'±
REAR	15	21'±	19'±
BLDG HEIGHT	35	23.0'±	31.5'±



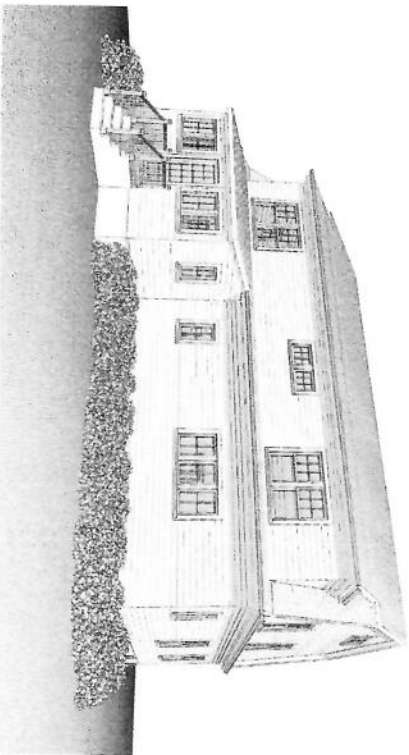
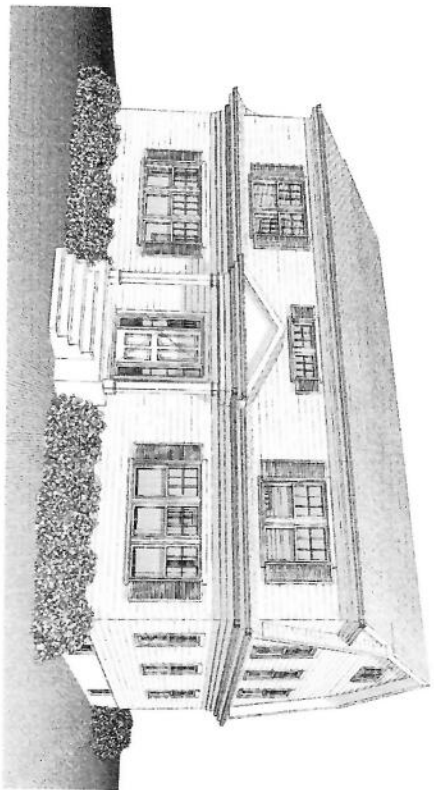
ZONING BOARD OF APPEALS PLAN

47 GLENDALE ROAD
MARBLEHEAD

PROPERTY OF
SCOTT G. MOORE

SCALE 1" = 20' OCTOBER 25, 2022
NORTH SHORE SURVEY CORPORATION
14 BROWN ST. - SALEM, MA
(978) 744-4800

5425



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

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Tucker Architecture and Landscape, LLC

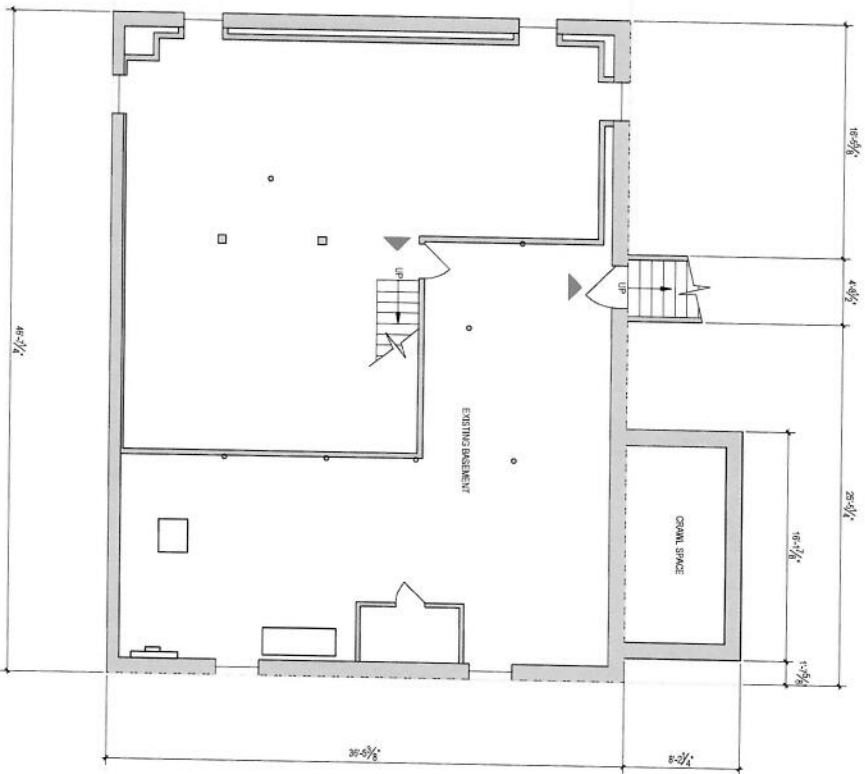
Drawing Index:	
CVR	Cover
X1	Existing Basement Plan
1	Proposed Basement Plan
X2	Existing First Floor Plan
2	Proposed First Floor Plan
X3	Existing Second Floor Plan
3	Proposed Second Floor Plan
X4	Existing Roof Plan
4	Proposed Roof Plan
X5	Existing Building Elevations
5	Proposed Building Elevations
X6	Existing Building Elevations
6	Proposed Building Elevations

REVISION DATE
2022.11.07 ZBA SET

FOR PERMIT

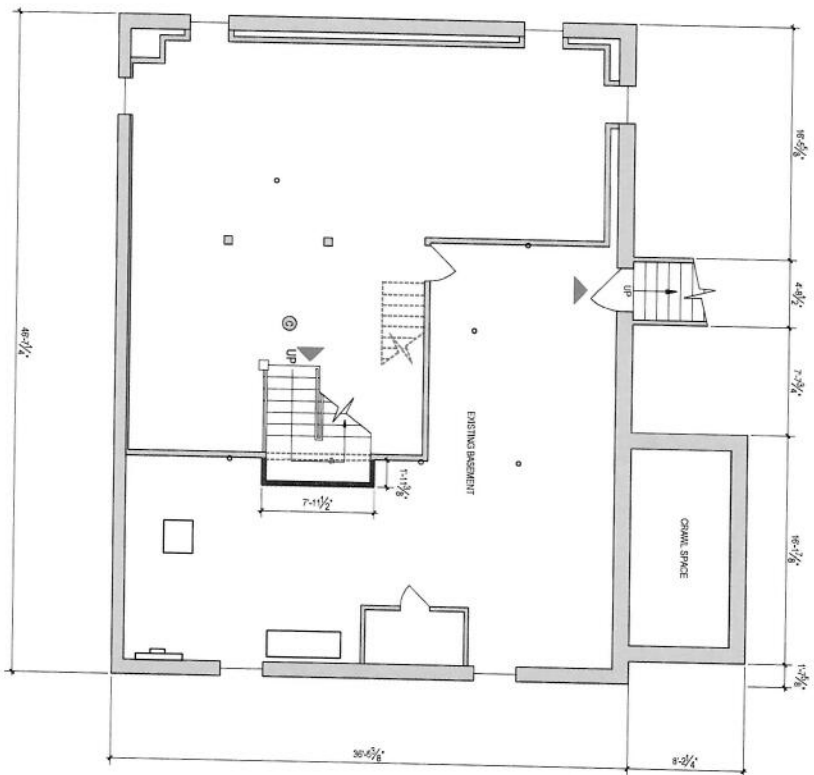
47 Glendale Road Residence
Marshfield, MA

Cover










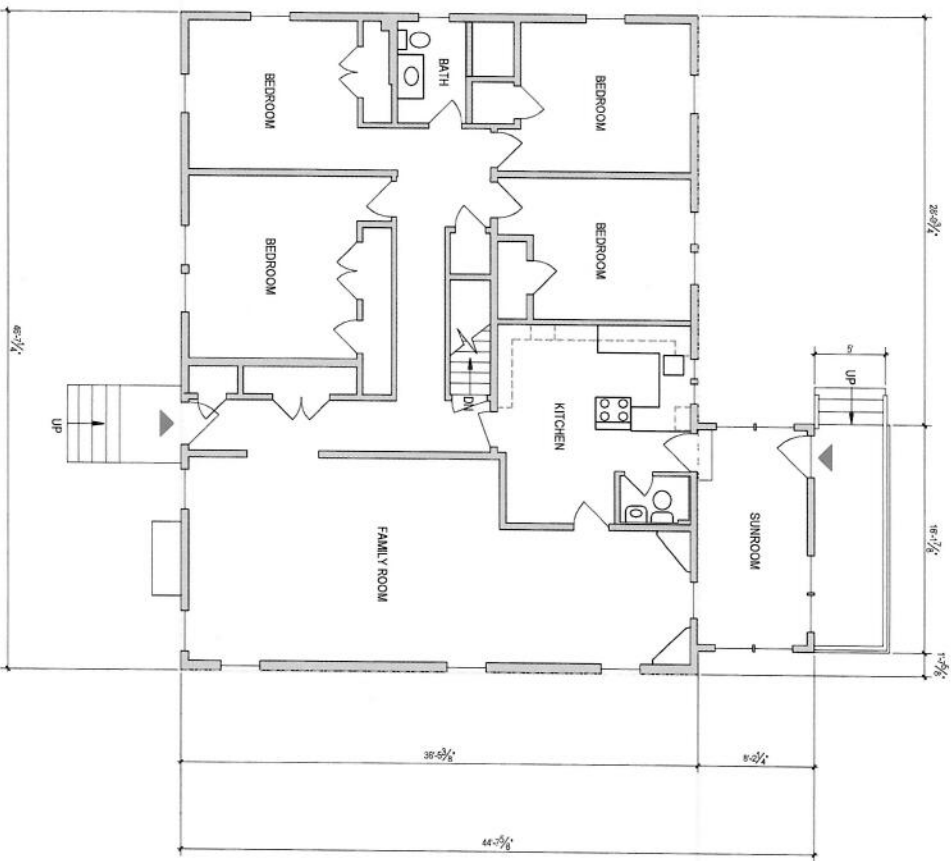
DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

<p>TUCKER Architecture & Landscape 56 Atlantic Avenue, Marblehead, MA www.tuckerarch.com (781) 331-3546 Tucker Architecture and Landscape, LLC</p>	
<p>DATE WALL LEGEND Existing Foundation Existing Wall to be Removed Proposed Concrete Wall Points of origin to be removed REVISIONS 2022 11 01 ZSA SET</p>	
<p>FOR PERMIT 47 Glendale Road Residence Marblehead, MA</p>	
<p>Existing Basement Floor Plan</p>	<p>NOTE: DIMENSIONS LEFT TO RIGHT SCALE 1"=4'-0" X1</p>



DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

<p>  T U C K E R Architecture & Landscape 56 Atlantic Avenue, Marshfield, MA www.TuckerArch.com (781) 631-3546 </p> <p> Tucker Architecture and Landscape LLC </p>	<p> PLAN WALL LEGEND  Solid Foundation Wall  Existing Wall to Remove  Existing Wall to be Retained  Proposed Concrete Wall </p> <p>  Points of Egress to Exterior </p> <p> REVISION DATE 2022 11 01 ZBA SET </p> <p> FOR PERMIT </p> <p> 47 Glendale Road Residence Marshfield, MA Proposed Basement Floor Plan </p> <p> TOTAL OBTAINING DRAWING SET TO INCLUDE FULL SCALE </p> <p>  </p> <p> PAGE NO. 1 </p>
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EXISTING FIRST FLOOR PLAN
47 Glendale Road Residence
Marshfield, MA

FOR PERMIT
2022 11 07 2BA SET

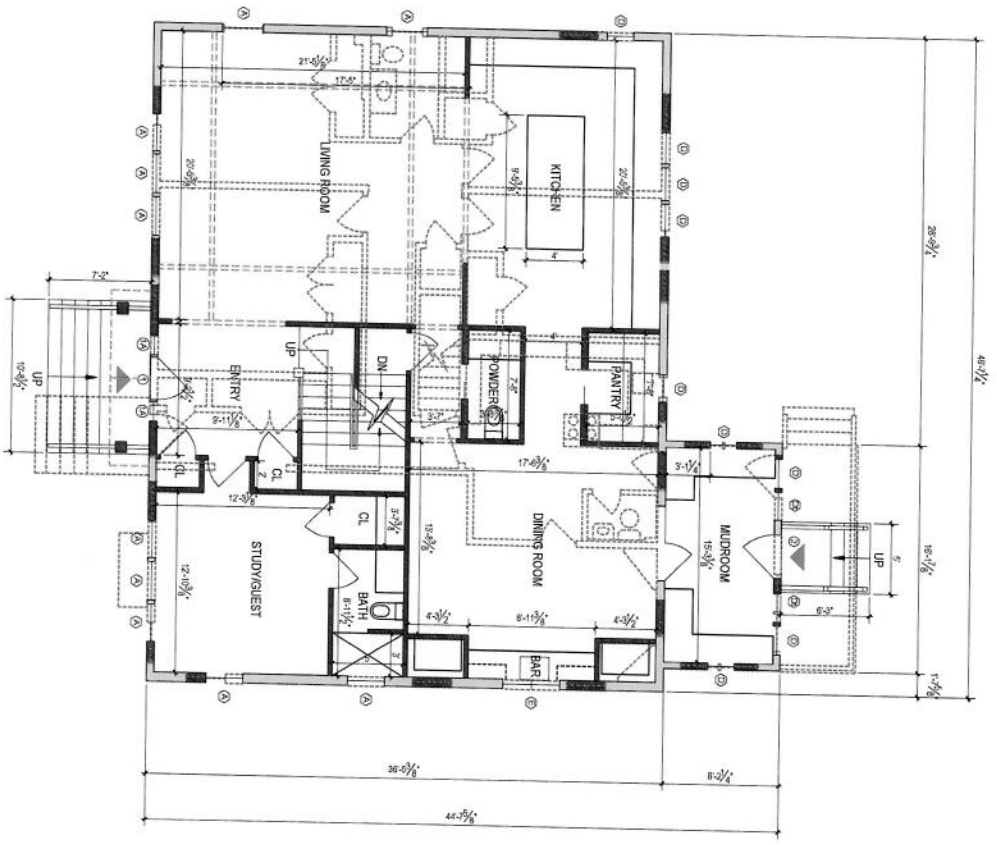
LEGEND
 - - - - - Proposed Structure
 - - - - - Existing Walls to Remain
 - - - - - Existing Walls to be Removed
 - - - - - Proposed Common Walls
 - - - - - Points of Egress to Exterior

REVISION DATE:
2022 11 07 2BA SET

DATE:
2022 11 07 2BA SET

SCALE:
1/8" = 1'-0"

PROJECT NO.:
X2



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

PLAN WALL LEGEND

- Proposed New Walls
- Existing Walls to be Retained
- Existing Walls to be Removed
- Proposed Concrete Walls
- Notes of Signs to be Retained

REVISION DATE: 2022 11 01 ZBA SET

FOR PERMIT

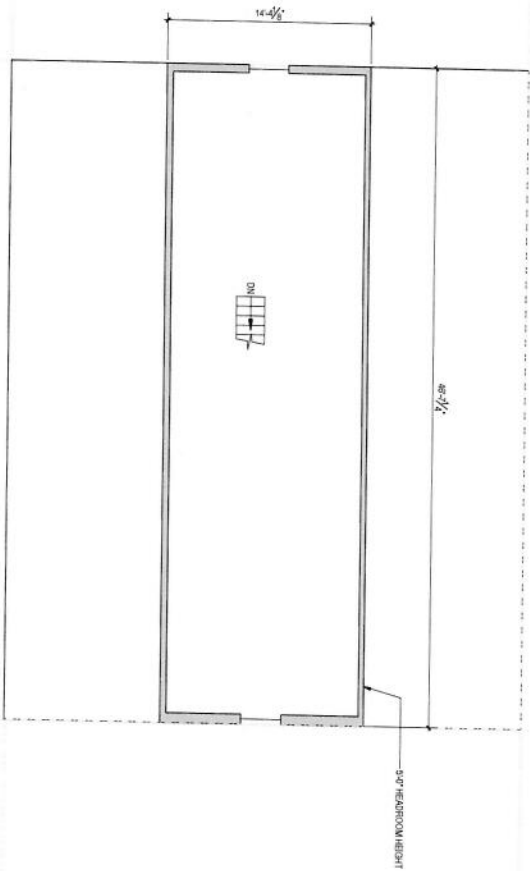
47 Glendale Road Residence
Marblehead, MA

Proposed First Floor Plan


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NOTE: GENERAL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.

2



DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



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PLAN WALL LEGEND

- Proposed Stud Walls
- Existing Walls to be Retained
- Existing Walls to be Demolished
- Proposed Concrete Walls
- Points of Egress to Exterior

REVISIONS


2022 11 01 2B/A SET

FOR PERMIT

47 Glendale Road Residence
Marblehead, MA

Existing Second Floor Plan

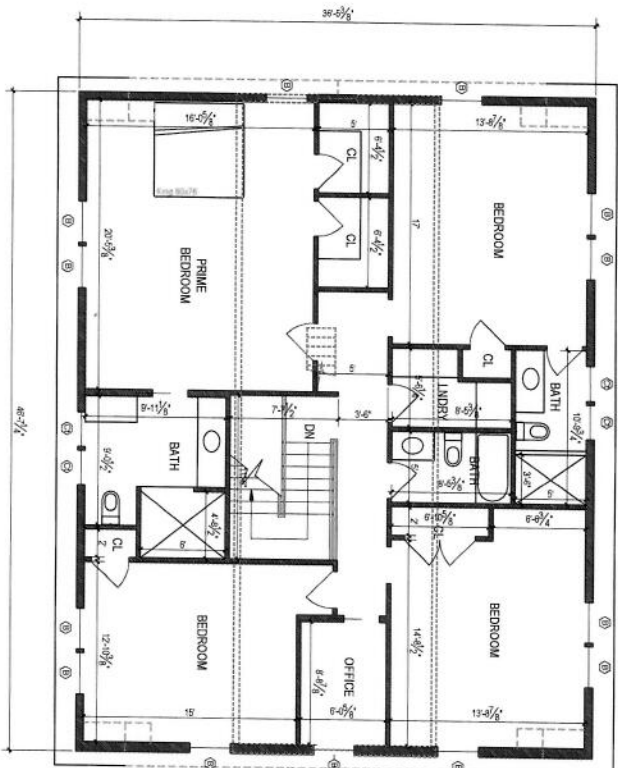
NOTE: CHASPEL DRAWING SET IS 3/8" = 1'-0" SCALE



PAGE NO. **X3**

1 Second Floor
Scale: 1/8"=1'-0"

1 Second Floor
Scale: 1/8"=1'-0"



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IT CAN WALL CELEBRATE
 Prepared Stud Walls
 Existing Walls to Remove
 Existing Walls to be Retained
 Proposed Concrete Walls

PROPOSED DATE:
 2022 11 01 ZBA SET

FOR PERMIT

Points of Egress to Exterior


FOR PERMIT

47 Glendale Road Residence
Marblehead, MA

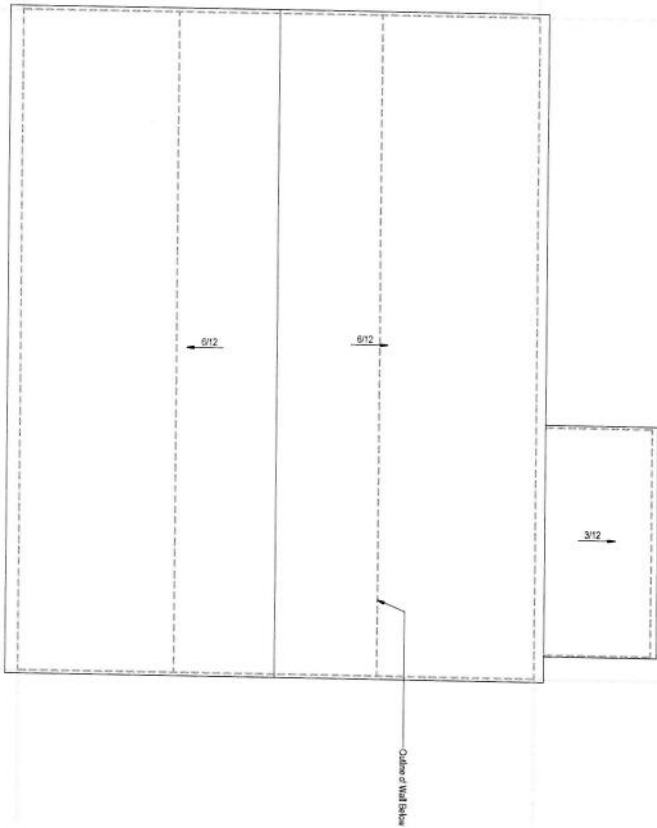
Proposed Second Floor Plan

NOTE: ORIGINAL DRAWING SET TO 2005 FULL SCALE


3

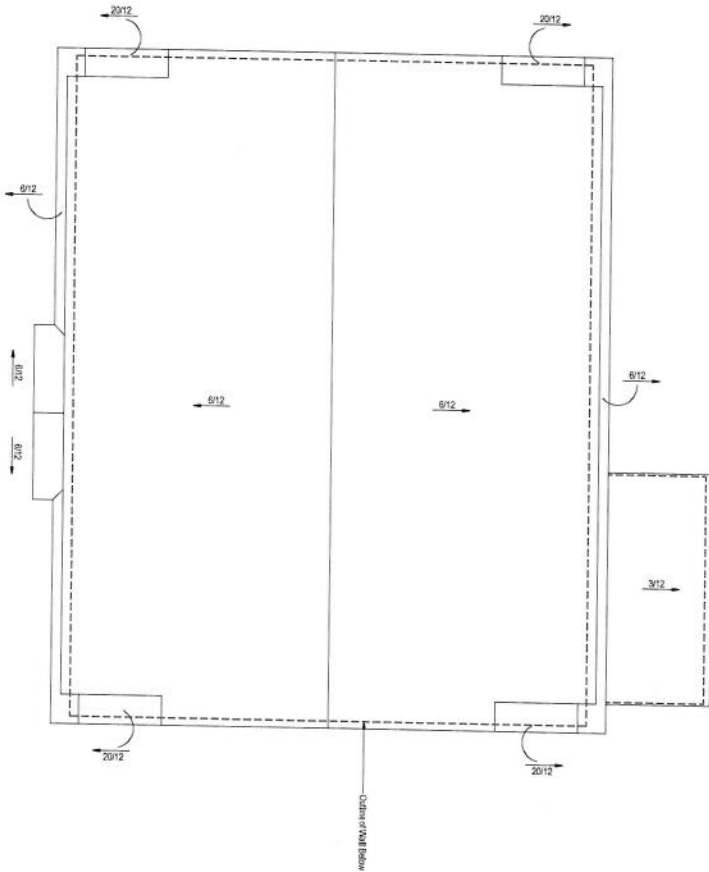


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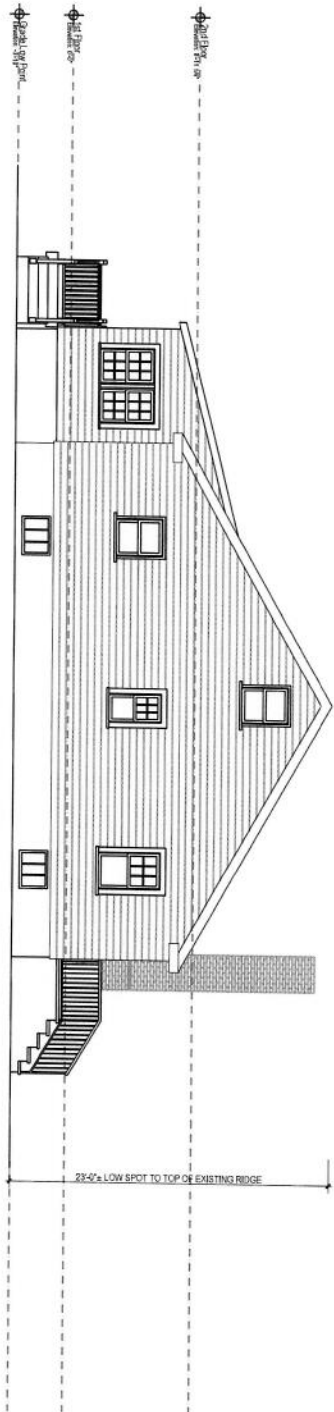
NOTE: DIMENSIONS DRAWING SET TO STANDARD SCALE 	PROJECT NO. X4
47 Glendale Road Residence Marblehead, MA	
FOR PERMIT	
REVISION DATE: 2022 11 01 ZBA SET	



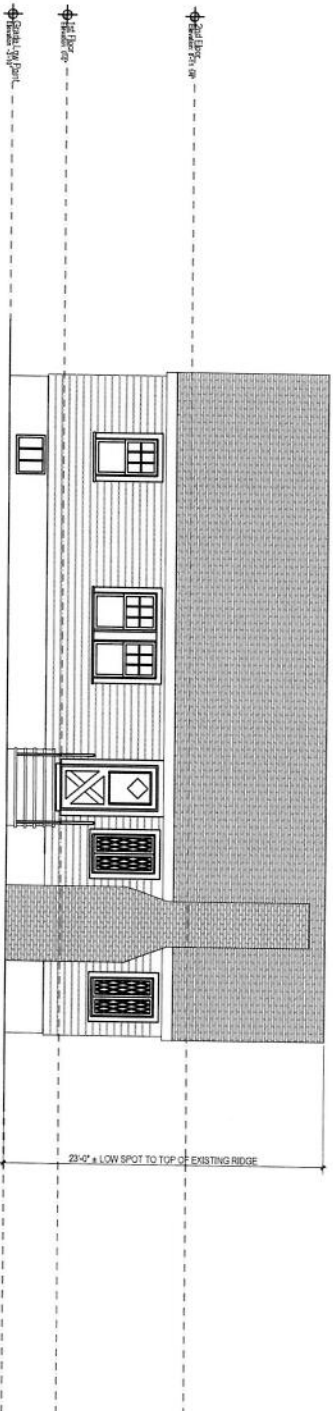
NOTE: NO ATTIC SPACE GREATER THAN 8'-0" CEILING HEIGHT WITHIN

DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

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REVISIONS 2022 11 01 ZBA SET	
FOR PERMIT	
47 Glendale Road Residence Marshfield, MA	
Proposed Roof Plan	
NOTE: ORIGINATING DRAWING SET TO REMAIN FULL SCALE	PAGE NO. 4




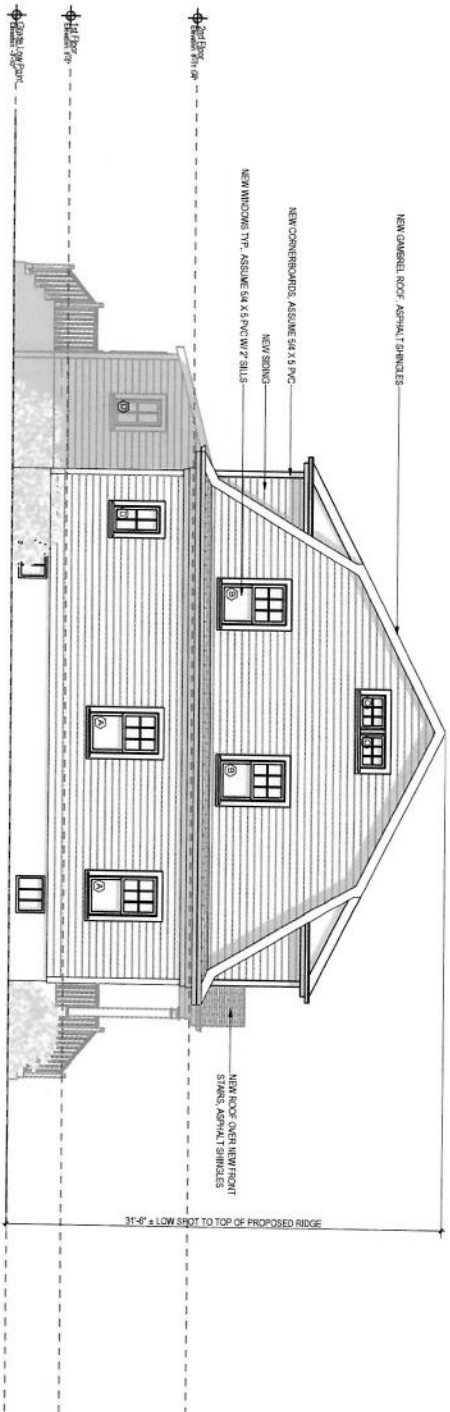
① **Left Side Elevation**
 Scale: 1/8" = 1'-0"



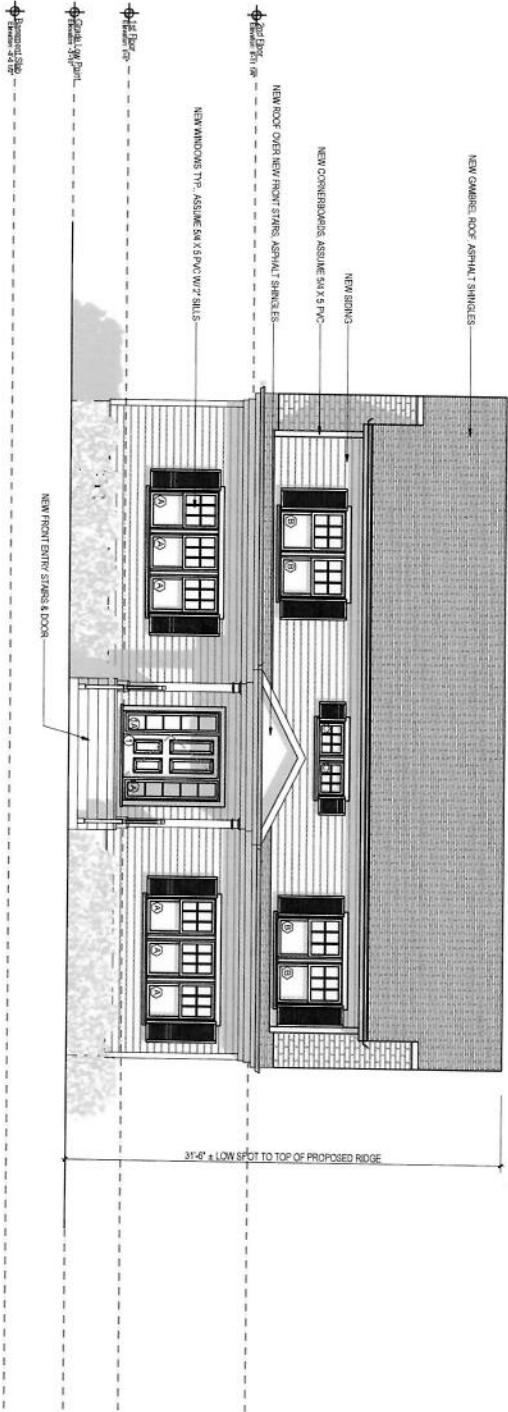
② **Front Side Elevation**
 Scale: 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

<p> REGISTERED DATE 2022 11 01 ZBA SET FOR PERMIT 47 Glendale Road Residence Marblehead, MA </p>		<p> Existing Building Elevations  </p>
<p> NOTE: ORIGINAL DRAWING SET TO SHOW FULL SCALE PAGE NO. X5 </p>		



1 Left Side Elevation
Scale 1/8" = 1'-0"



2 Front Side Elevation
Scale 1/8" = 1'-0"

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

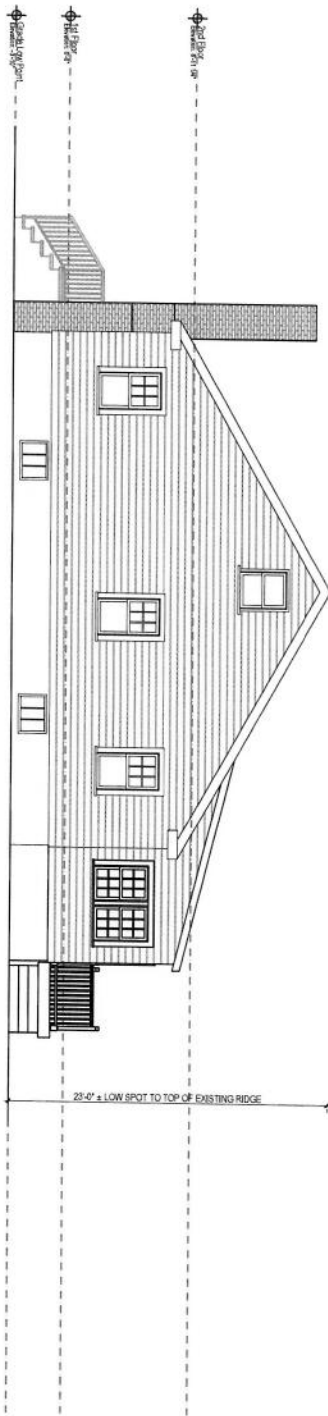
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REVISIONS
2022 11 01 ZHA SET
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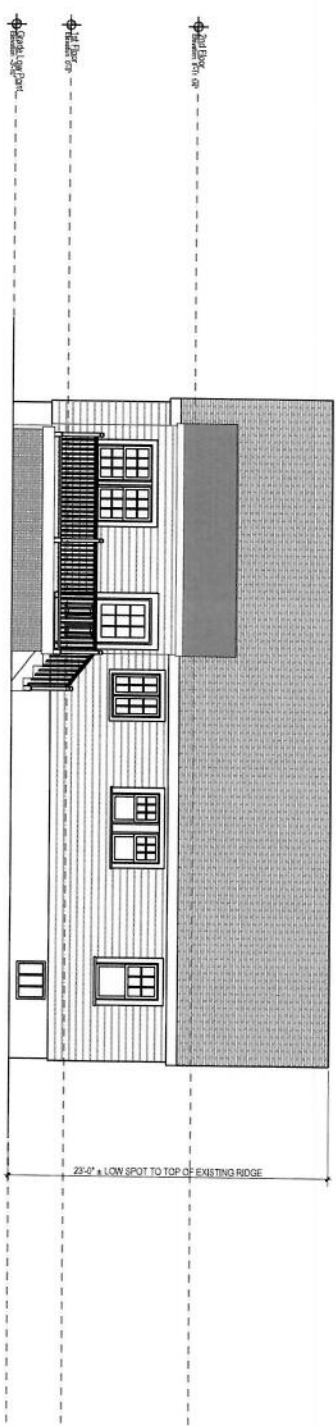
47 Glendale Road Residence
Marblehead, MA

Proposed Building Elevations

NOTE: ORIGIN DRAWING SET TO MATCH TITLE SHEET
PAGE NO. 5



① Right Side Elevation
Scale: 1/8" = 1'-0"



② Rear Elevation
Scale: 1/8" = 1'-0"

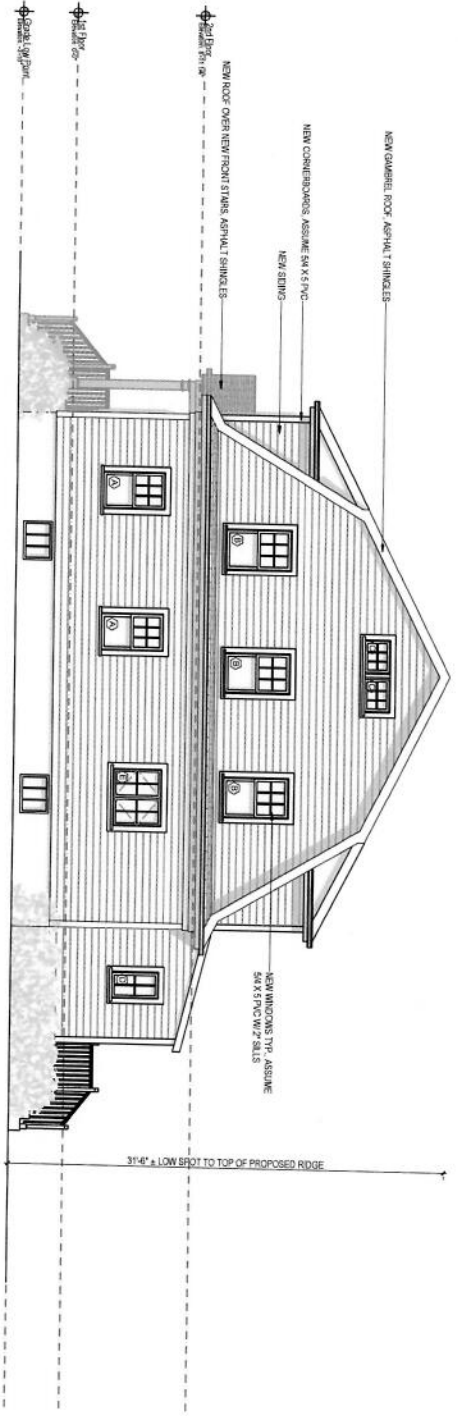
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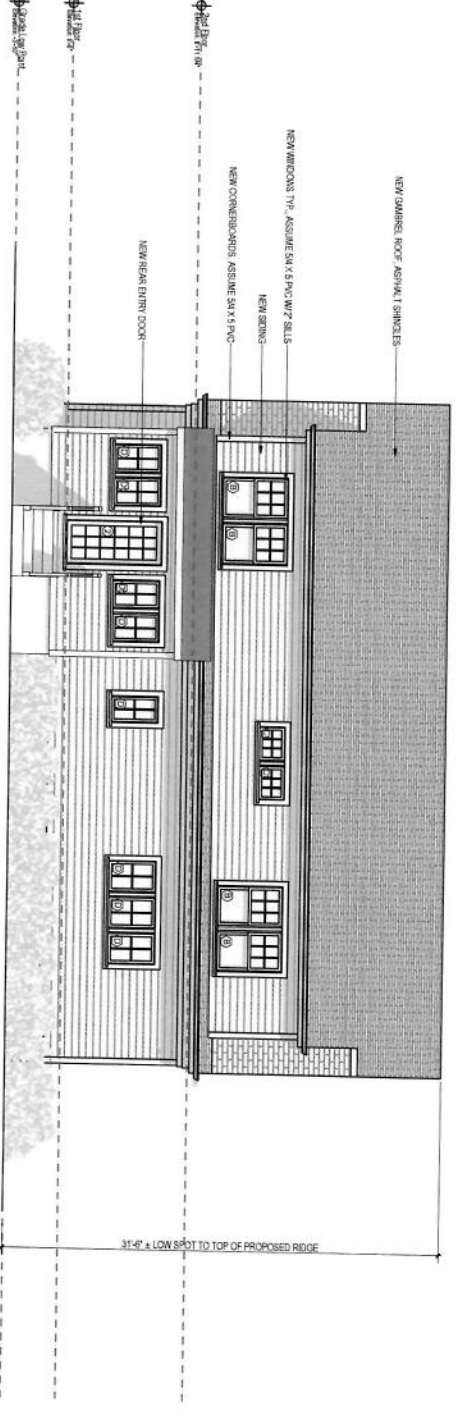
REVISION DATE
 2022 11 01 ZBA SET
FOR PERMIT

47 Glendale Road Residence
 Mattituck, MA
Existing Building Elevations

NOTE: ORIGINAL DRAWING SET TO ARCHITECT SCALE
 X6



1 Right Side Elevation
Scale: 1/4" = 1'-0"



2 Rear Elevation
Scale: 1/4" = 1'-0"

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<p>FOR PERMIT</p> <p>47 Glendale Road Residence Marshfield, MA</p>		<p>NOTE: DIMENSIONS SHOWN SET TO EXTERIOR FACE UNLESS NOTED OTHERWISE</p>
<p>Proposed Building Elevations</p>		<p>PAGE NO. 6</p>