



TOWN SEAL  
tel: 781-631-1529

fax: 781-631-2617

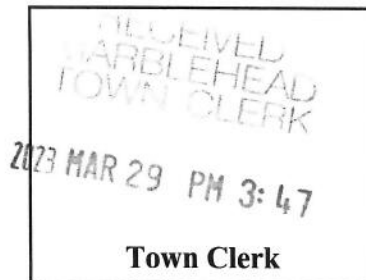
Revision Date: 12-02-20

# **Town of Marblehead** **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building  
7 Widger Road, Marblehead, MA 01945

## **ZBA APPLICATION**

PAGE 1 of 3



Project Address 42 Longview Drive  
Assessor Map(s) 21 Parcel Number(s) 22

### **OWNER INFORMATION**

Signature Deborah M. Stephenson date 3/16/23  
Name (printed) Deborah M. Stephenson  
Address 42 Longview Drive  
Phone Numbers: home cell 781-883-9635 work   
E-mail dmwysor@gmail.com fax

### **APPLICANT or REPRESENTATIVE INFORMATION** (if different from owner)

Signature  date   
Name (printed)   
Address   
Phone Numbers: home  work   
E-mail  fax

### **PROJECT DESCRIPTION & RELIEF REQUESTED** (attach additional page if necessary)

- Addition of storage shed \*  
Back yard and side yard setback relief  
I am requesting 3' setbacks / side and rear  
\* on lot having less than required front and side yard  
setbacks with lot having less than required area and width
- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
  - Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
    - the signed and stamped application (3 pages);
    - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
    - the project design plans as required;
    - check for the applicable fee payable to the Town of Marblehead.
  - Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

### **REQUIRED SIGNATURES**

1. Building Commissioner (pages 1, 2 and 3) [Signature] 3-29-23
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: [www.marblehead.org](http://www.marblehead.org)

Reviewed by  
Building Department  
For Zoning Board  
Of Appeals

**Town of Marblehead**  
**ZBA-APPLICATION**

Revision Date: 12-02-2020

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Project Address 42 Longview Drive Map(s) / Parcel(s) 21/22

**ZONING DISTRICT** (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

**CURRENT USE** (explain) single family home

**CURRENT USE CONFORMS TO ZONING** (Article IV, Table 1)

Yes X No \_\_\_\_\_ (explain) \_\_\_\_\_

**PROPOSED CHANGE OF USE**

No X Yes \_\_\_\_\_ (explain) \_\_\_\_\_

**PROPOSED CONSTRUCTION QUALIFIES AS "Building New"** (§200-7) Yes ✓ No \_\_\_\_\_

**EXISTING DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)  
X Lot Width - Less than required (§200-7)  
X Frontage - Less than required (§200-7 and Table 2)  
\_\_\_\_\_ Front Yard Setback - Less than required (Table 2)  
\_\_\_\_\_ Rear Yard Setback - Less than required (Table 2)  
X Side Yard Setback - Less than required (Table 2)  
\_\_\_\_\_ Height - Exceeds maximum allowed (§200-7 and Table 2)  
\_\_\_\_\_ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
\_\_\_\_\_ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
\_\_\_\_\_ Other Non-conformities (explain) \_\_\_\_\_  
\_\_\_\_\_ No Existing Dimensional Non-conformities

**NEW DIMENSIONAL NON-CONFORMITIES** (check all that apply)

- \_\_\_\_\_ Lot Area - Less than required (§200-7 and Table 2)  
\_\_\_\_\_ Lot Width - Less than required (§200-7)  
\_\_\_\_\_ Frontage - Less than required (§200-7 and Table 2)  
\_\_\_\_\_ Front Yard Setback - Less than required (Table 2)  
X Rear Yard Setback - Less than required (Table 2)  
X Side Yard Setback - Less than required (Table 2)  
\_\_\_\_\_ Height - Exceeds maximum allowed (§200-7 and Table 2)  
\_\_\_\_\_ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)  
\_\_\_\_\_ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)  
\_\_\_\_\_ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)  
\_\_\_\_\_ Other Non-conformities (explain) \_\_\_\_\_  
\_\_\_\_\_ No New Dimensional Non-conformities

**ADDITIONAL HEARINGS REQUIRED**

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

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Building Department  
For Zoning Board  
Of Appeals

**DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS** (Sections 3(A) and 3(C))

Yes X No \_\_\_\_\_ (explain) \_\_\_\_\_

Building Official [Signature] Date 3/29/23

**Town of Marblehead**  
**ZBA-APPLICATION**

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Revision Date: 12-02-2020

Project Address 42 LONGVIEW DR. Map(s) / Parcel(s) 21/22

**NET OPEN AREA (NOA)**

	<b><u>EXISTING</u></b>	<b><u>PROPOSED</u></b>
Lot area = A	<u>9052</u>	<u>9052</u>
Area of features		
footprint of accessory building(s)	<u>20</u>	<u>80</u>
footprint of building	<u>1032</u>	<u>1032</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>44</u>	<u>44</u>
number of required parking spaces _____ x (9'x 18' per space)	<u>324</u>	<u>324</u>
area of pond(s), or tidal area(s) below MHW	<u>—</u>	<u>—</u>
other areas (explain) _____	<u>—</u>	<u>—</u>
Sum of features = B	<u>1420</u>	<u>1480</u>
Net Open Area (NOA) = (A - B)	<u>7632</u>	<u>7572</u>

**GROSS FLOOR AREA (GFA)**

accessory structure(s)	<u>20</u>	<u>80</u>
basement or cellar (area >5' in height)	<u>768</u>	<u>768</u>
1st floor (12' or less in height) NOTE: [for heights exceeding	<u>1032</u>	<u>1032</u>
2nd floor (12' or less in height) 12' see definition	<u>1076</u>	<u>1076</u>
3rd floor (12' or less in height) of STORY §200-7]	<u>—</u>	<u>—</u>
4th floor (12' or less in height)	<u>—</u>	<u>—</u>
attic (area >5' in height)	<u>320</u>	<u>320</u>
area under deck (if >5' in height)	<u>—</u>	<u>—</u>
roofed porch(es)	<u>8</u>	<u>8</u>
Gross Floor Area (GFA) = sum of the above areas	<u>3224</u>	<u>3284</u>

**Proposed total change in GFA** = (proposed GFA - existing GFA)

**Percent change in GFA** = (proposed total change in GFA ÷ existing GFA) x 100

**Existing Open Area Ratio** = (existing NOA ÷ existing GFA)

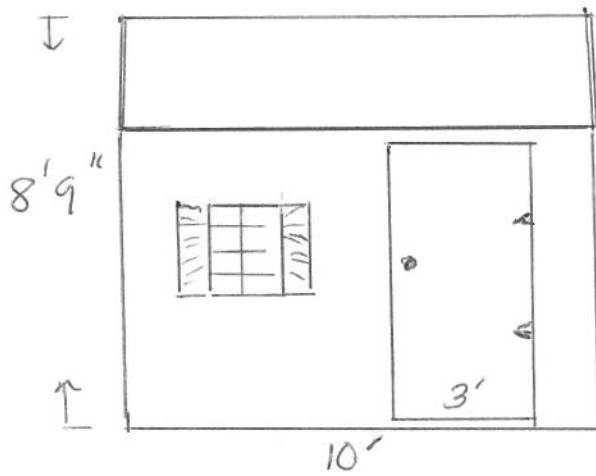
**Proposed Open Area Ratio** = (proposed NOA ÷ proposed GFA)

Reviewed by = 60  
Building Department 1.86 %  
For Zoning Board 2.37  
Of Appeals 2.31

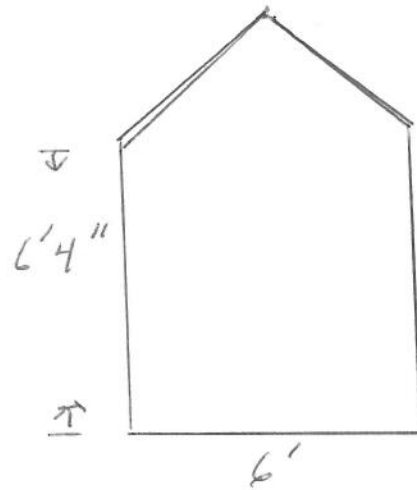
This worksheet applies 1. plan by/dated Nº. STORE SURVEY 2-24-23  
to the following plan(s): 2. plan by/dated PATRIOT PROPERTIES MHD - ON LINE  
3. plan by/dated \_\_\_\_\_

Building Official \_\_\_\_\_

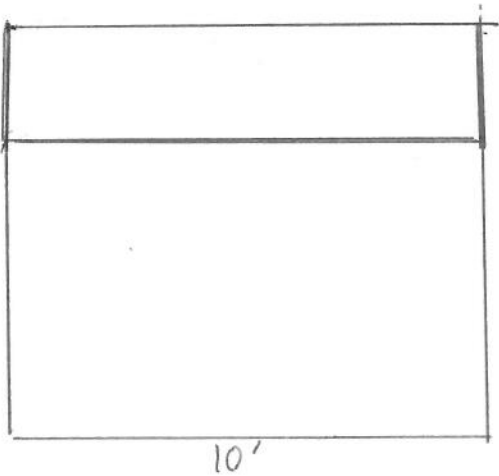
Date 3-29-23



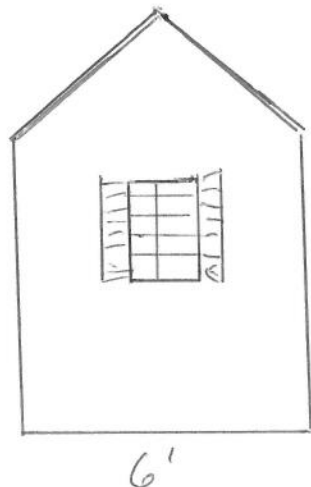
Front



Left



Rear



Right

42 Longview Drive  
Proposed Shed

$\frac{1}{4}'' = 1 \text{ ft}$

3/29/23

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