



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617

Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

*Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945*

ZBA APPLICATION

PAGE 1 of 3

RECEIVED
MARBLEHEAD
TOWN CLERK

2023 APR 26 AM 10:31

Town Clerk

Project Address 11 Ruby Avenue

Assessor Map(s) 13 Parcel Number(s) 26

OWNER INFORMATION

Signature _____ date _____

Name (printed) Brian and Meghan Perlow

Address 11 Ruby Avenue, Marblehead, MA 01945

Phone Numbers: home 617-510-0377 work _____

E-mail bcperlow@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 4/25/23

Name (printed) Brian and Meghan Perlow

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct an addition to an existing single-family dwelling on

a lot with less than the required lot area, lot frontage, lot width, front and side yard setbacks.

The addition will create less than the required open area and will exceed the allowed 10 %

expansion for a non-conforming building. This is a scaled down revision to a Special Permit granted on 9/27/2022

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature]

2. Town Clerk's stamp (upper right corner)

4-26-23

Reviewed by
Building Department
For Zoning Board
Of Appeals

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 11 Ruby Avenue

Map(s) / Parcel(s) 13/26

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single -Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☒ No ☐

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- ☒ Lot Area - Less than required (§200-7 and Table 2)
☒ Lot Width - Less than required (§200-7)
☒ Frontage - Less than required (§200-7 and Table 2)
☒ Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
☒ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
Other Non-conformities (explain) _____
No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area - Less than required (§200-7 and Table 2)
Lot Width - Less than required (§200-7)
☒ Frontage - Less than required (§200-7 and Table 2)
Front Yard Setback - Less than required (Table 2)
Rear Yard Setback - Less than required (Table 2)
☒ Side Yard Setback - Less than required (Table 2)
Height - Exceeds maximum allowed (§200-7 and Table 2)
☒ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
☒ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
Other Non-conformities (explain) _____
No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

| | | |
|------------------------------|------------------------------|--|
| Conservation Commission | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Historic District Commission | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |
| Planning Board | Yes <input type="checkbox"/> | No <input checked="" type="checkbox"/> |

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For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official _____

Date 4-26-23

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 11 Ruby Avenue

Map(s) / Parcel(s) 13/26

NET OPEN AREA (NOA)

| | <u>EXISTING</u> | <u>PROPOSED</u> |
|---|------------------------|------------------------|
| Lot area = A | 4,000 | 4,000 |
| Area of features | | |
| footprint of accessory building(s) | 96 | 96 |
| footprint of building | 910 | 885 |
| footprint of deck(s), porch(es), step(s), bulkhead(s) | 167 | 208 |
| number of required parking spaces <u>2</u> x (9' x 18' per space) | 324 | 324 |
| area of pond(s), or tidal area(s) below MHW | 0 | 0 |
| other areas (explain) _____ | 0 | 0 |
| Sum of features = B | 1,497 | 1,515 |
| Net Open Area (NOA) = (A - B) | 2,503 | 2,487 |

GROSS FLOOR AREA (GFA)

| | | |
|--|-------|-------|
| accessory structure(s) | 96 | 96 |
| basement or cellar (area >5' in height) | 760 | 760 |
| 1st floor (12' or less in height) NOTE: [for heights exceeding | 910 | 885 |
| 2nd floor (12' or less in height) 12' see definition | 504 | 974 |
| 3rd floor (12' or less in height) of STORY §200-7] | 0 | 448 |
| 4th floor (12' or less in height) | 0 | 0 |
| attic (area >5' in height) | 0 | 0 |
| area under deck (if >5' in height) | 0 | 0 |
| roofed porch(es) | 88 | 88 |
| Gross Floor Area (GFA) = sum of the above areas | 2,358 | 3,251 |

Proposed total change in GFA = (proposed GFA - existing GFA) = 893

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = 37.87 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1: 1.06

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1: .76

This worksheet applies 1. plan by/dated Tucker Architecture & Landscape / 4/25/2023

to the following plan(s): 2. plan by/dated Bartram Land Survey 4/20/23

3. plan by/dated _____

Building Official _____

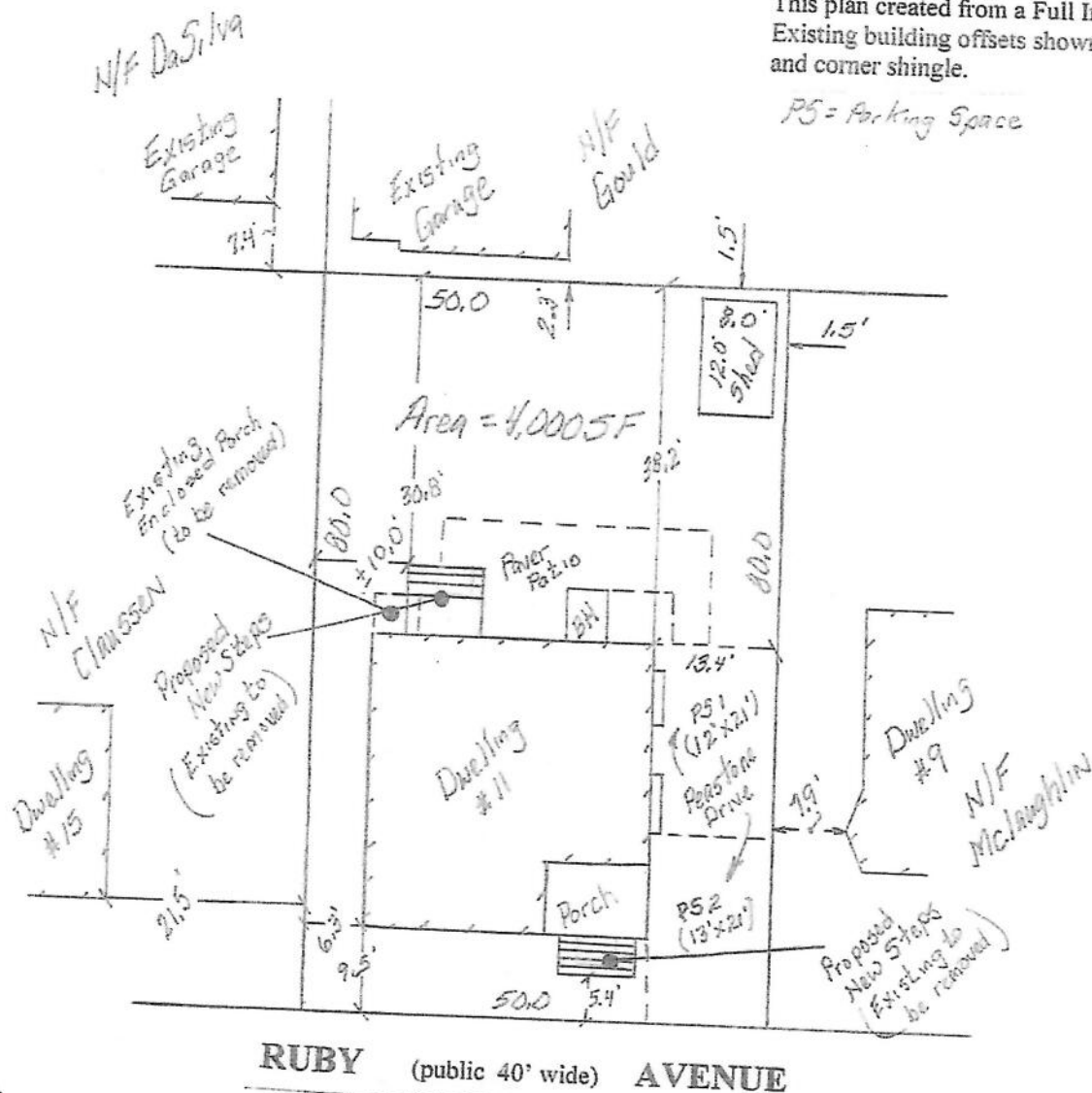
Date 4-26-23

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Notes: The height of the peak of the roof from the lowest adjacent spot on the ground is 25.4'. A second floor is proposed to be built within the footprint of the existing building shown.

Notes: Utilities have not been surveyed and are not shown. DIGSAFE must be notified prior to excavation. This plan created from a Full Instrument Survey. Existing building offsets shown are to corner board and corner shingle.

PS = Parking Space



ASSESSORS:

ID 13 26 0

REFERENCES:

Plan in Book 1844 Pg 600

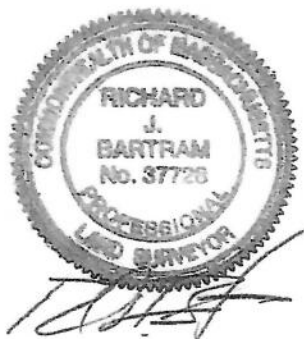
ZONE:

SR

| | Required | Existing | Proposed |
|----------|----------|--------------|--------------|
| Lot Area | 10,000SF | 4,000SF | 4,000SF |
| Frontage | 100' | 50' | 50' |
| Front | 20' | 6.2'(steps) | 5.4'(steps) |
| Side | 15' | 6.3' | 6.3' |
| Rear | 15' | 30.8'(steps) | 30.8'(steps) |
| Height | 35' | 25.4' | 32.7' |

I CERTIFY THAT THE DWELLING, #11, EXISTS ON THE GROUND AS SHOWN AND THAT THE PROPOSED IMPROVEMENTS ARE TO BE BUILT AS SHOWN WITH RESPECT TO THE LOT LINES.

4/20/23



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Building Department
For Zoning Board
Of Appeals

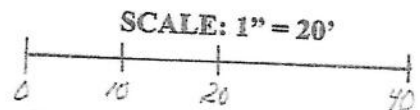


EXHIBIT PLAN OF LAND

IN
MARBLEHEAD MA

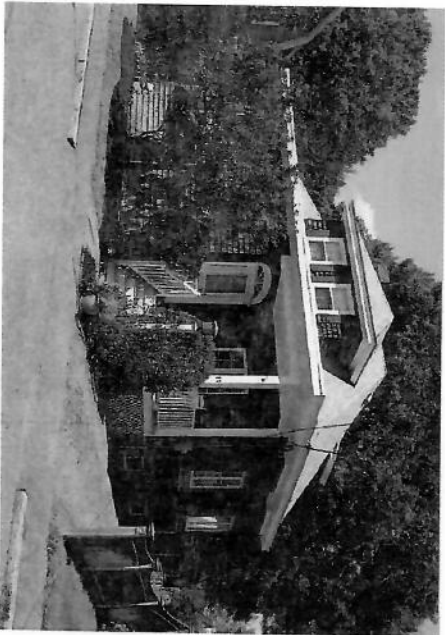
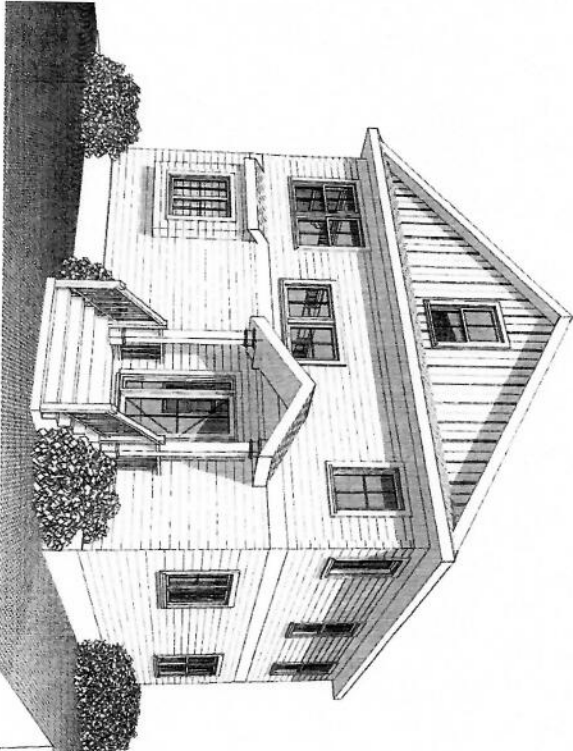
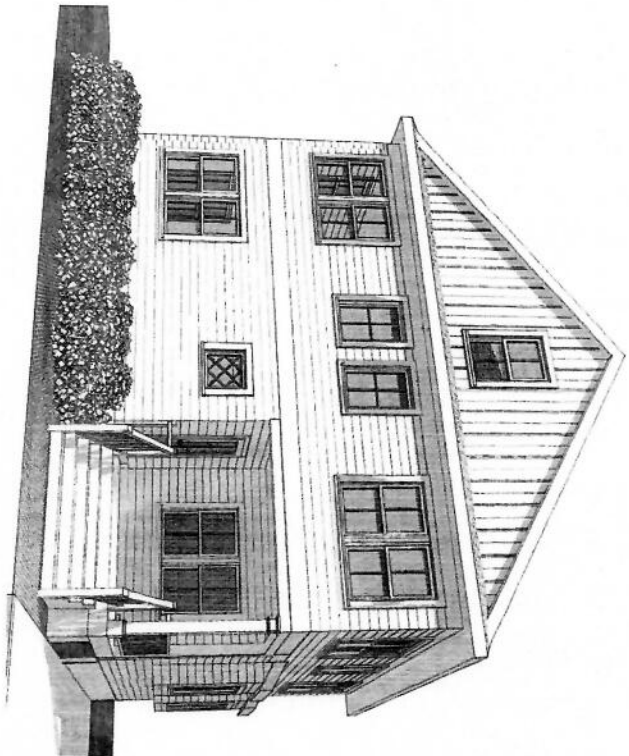
11 RUBY AVENUE

PREPARED FOR

MEGAN PERLOW

Scale 1\" = 20'

BARTRAM LAND SURVEY
2 Fruit Street Byfield MA 01922



DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY



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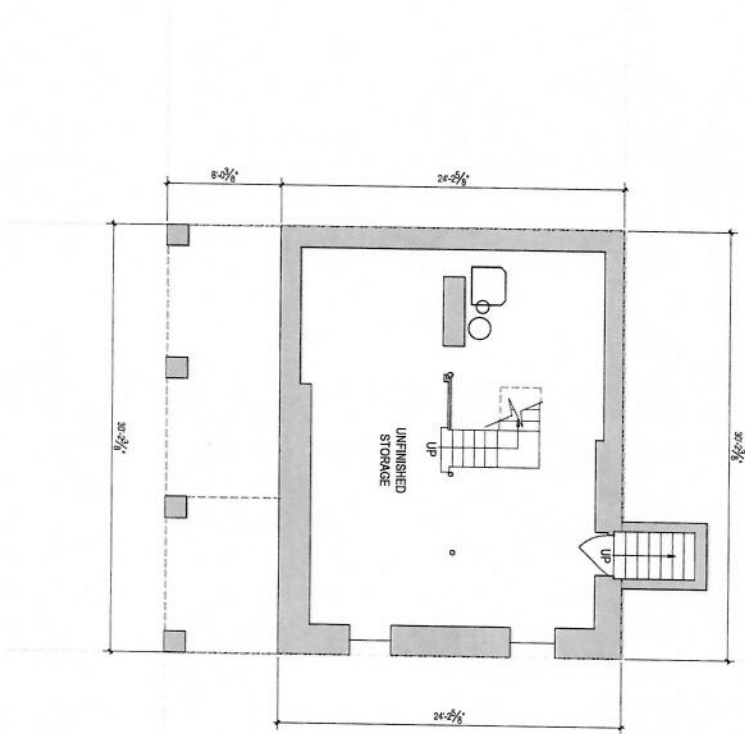
Drawing Index:

| | |
|-----|------------------------------|
| CVR | Cover and Rendering |
| x1 | Existing Basement Floor Plan |
| 1 | Proposed Basement Floor Plan |
| x2 | Existing First Floor Plan |
| 2 | Proposed First Floor Plan |
| x3 | Existing Second Floor Plan |
| 3 | Proposed Second Floor Plan |
| 4 | Proposed Attic Floor Plan |
| x5 | Existing Roof Plan |
| 5 | Proposed Roof Plan |
| x6 | Existing Building Elevations |
| 6 | Proposed Building Elevations |
| x7 | Existing Building Elevations |
| 7 | Proposed Building Elevations |


REVISION DATE:
2023 04 25 25A 564
NOT FOR CONSTRUCTION

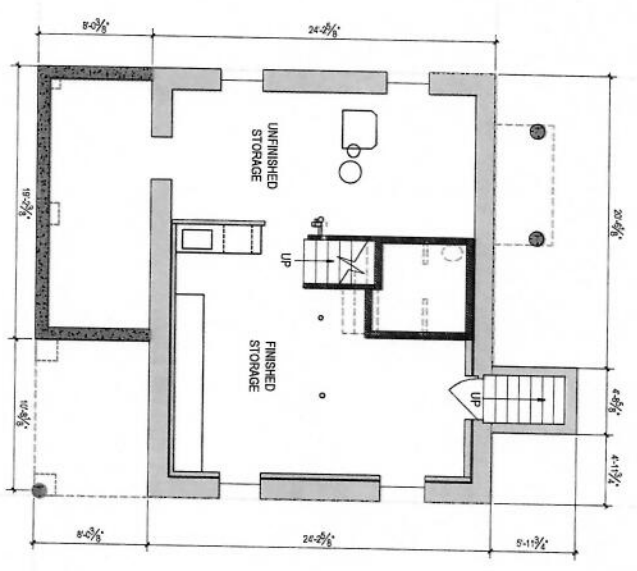
Perlow Residence
11 Ruby Avenue
Marshfield, MA

Cover



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| | | |
|--|--|--|
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| <p>PERFOR WILL LEGEND</p> <ul style="list-style-type: none"> Proposed Start Date Existing Walls to be removed Existing Walls to be retained Proposed Concrete Walls Perfor of Existing Floor | | <p>REVISION DATE 2023 04 25 ZBA set</p> <p>NOT FOR CONSTRUCTION</p> |



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RAINFALL LEGEND

- Proposed Solid Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Entry to Garage

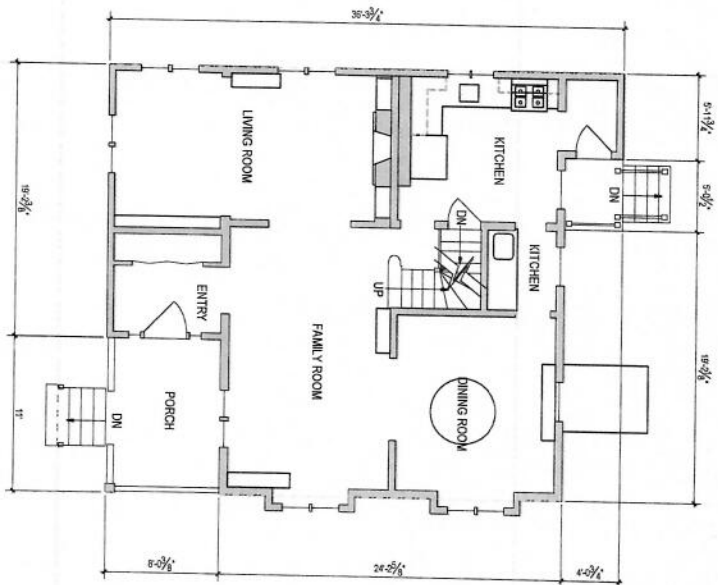
REVISIONS:
2023 04 25 ZBA Set

NOT FOR CONSTRUCTION


Perlow Residence
11 Ruby Avenue
Marblehead, MA

Proposed Basement Floor Plan

NOTE: ORIGINAL DRAWING SET TO SHOW ALL SIZES. PLOTTED NO. 1



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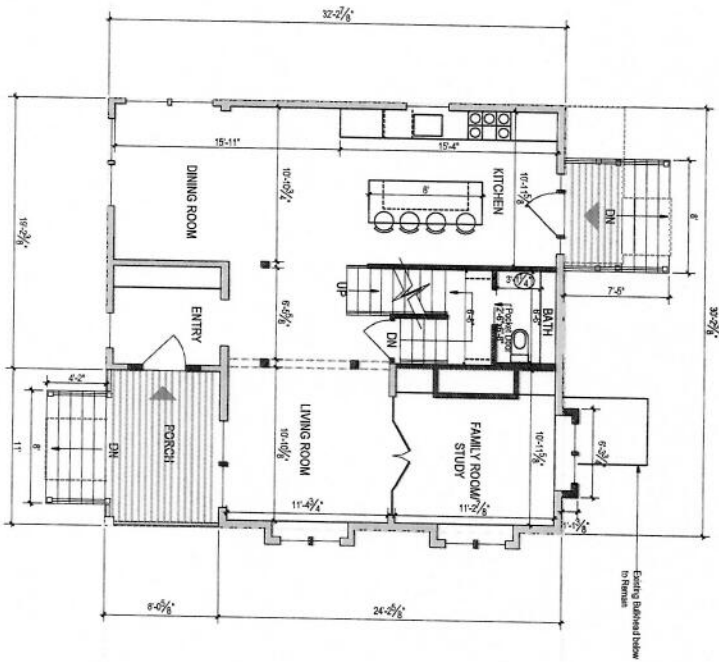
PERLOW RESIDENCE
11 Ruby Avenue
Marshfield, MA

Existing First Floor Plan

REVISION DATE: 2023 04 25 ZSA S&L
NOT FOR CONSTRUCTION

PLAN WALL LEGEND:
 Proposed Foundation
 Existing Foundation
 Existing Walls to be Retained
 Proposed Concrete Walls
 Footprint of Existing to be Demolished

NOTE: ORIGINAL DRAWING SET TO ARCHITECT SCALE
PAGE NO. X2



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PERLOW RESIDENCE
11 Ruby Avenue
Marshfield, MA

Proposed First Floor Plan

DATE: 2023 04 25
BY: JBA SH

NOT FOR CONSTRUCTION

REVISIONS:

- 1. WALL LEGEND
 - Proposed 2nd Floor
 - Existing Walls to Remain
 - Existing Walls to be Removed
 - Proposed Concrete Walls
 - Point of Entry to Exterior

NOTE: CONSULT DRAWINGS SET TO CHECK FULL SCALE

2



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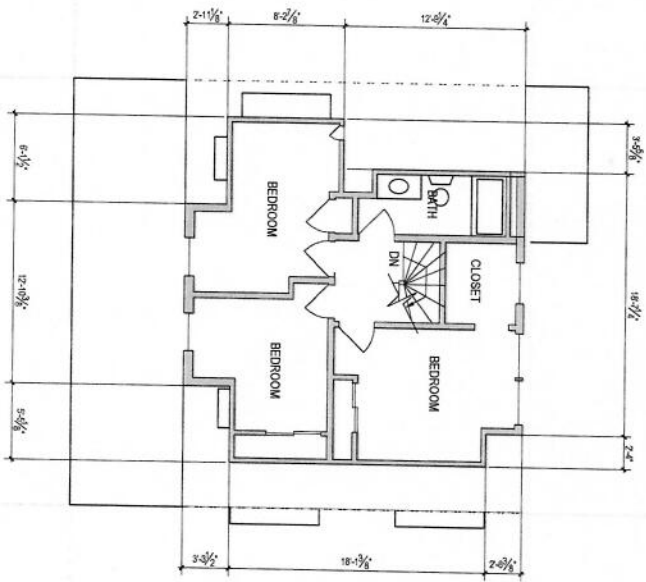
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PLAN WALL LEGEND
Proposed Study Walls
Existing Walls to be Retained
Existing Walls to be Removed
Proposed Concrete Walls
Points of Egress to Exterior

REVISION DATE
2023 04 25 2BA SH
NOT FOR CONSTRUCTION

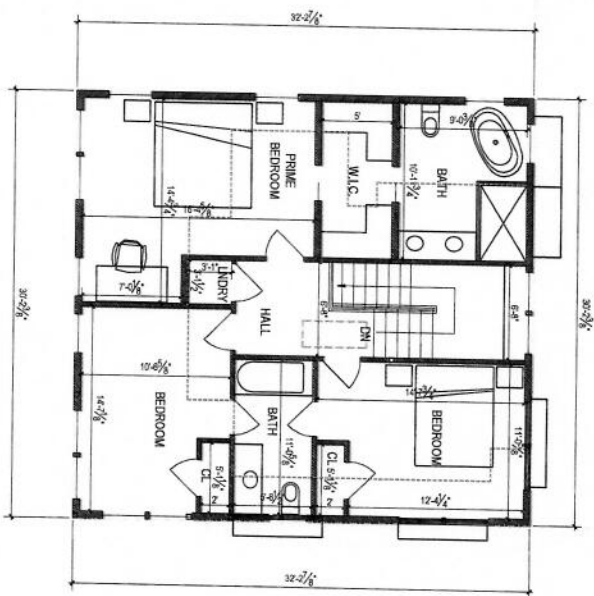
Petlow Residence
11 Ruby Avenue
Marblehead, MA
Existing Second Floor Plan

NOTE: DIMENSIONS SHOWN ARE TO FINISH TELL SCALE
X3




① **Second Floor Plan**
Scale: 1/8" = 1'-0"

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11 Ruby Avenue
Marshfield, MA

Proposed Second Floor Plan

REVISION DATE: 2023 04 25 ZBA SH4

NOT FOR CONSTRUCTION

PLAN WALL LEGEND

- Proposed Dual Walls
- Existing Walls to Remain
- Existing Walls to be Removed
- Proposed Concrete Walls
- Points of Egress to Exterior

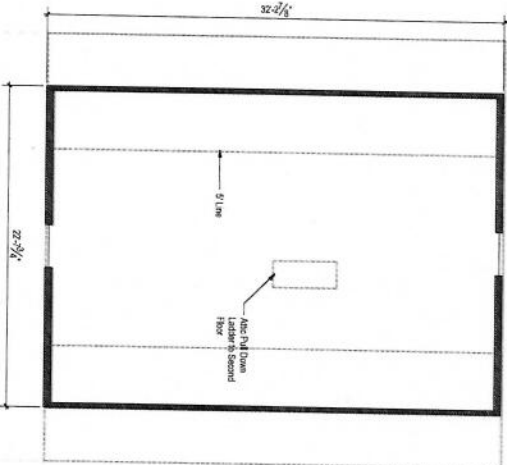
NOTE: ORIGINAL DRAWING SET TO WHICH THIS SCALE APPLIES

3



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- PLAN WALL LEGEND**
- Proposed Solid Walls
 - Existing Walls to Remain
 - Existing Walls to be Removed
 - Proposed Concrete Walls
 - Points of Egress to Exterior

REVISION DATE
2023 04 25 2BA SH
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Petlow Residence
11 Ruby Avenue
Marshfield, MA
Proposed Attic Plan

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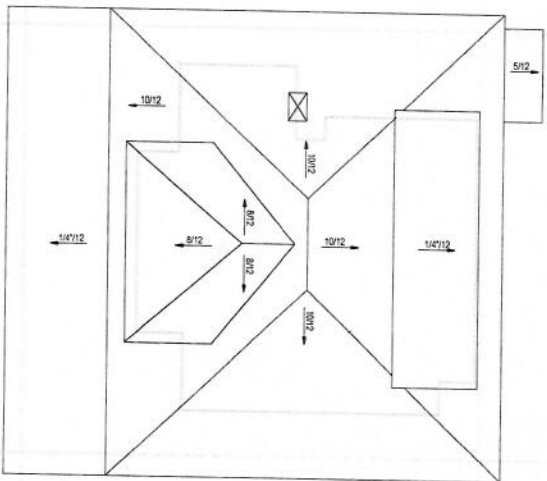
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RAWM WALL LEGEND

Proposed Shale Walls

Existing Walls to Remain

Existing Walls to be Shredded

Proposed Concrete Walls

Points of Egress to Exterior

REVISION DATE
2023 04 25 ZBA Set

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Perlow Residence
11 Ruby Avenue
Marblehead, MA

Existing Roof Plan

NOTE: ORIGINAL DRAWING SET TO SCALE: FULL SCALE

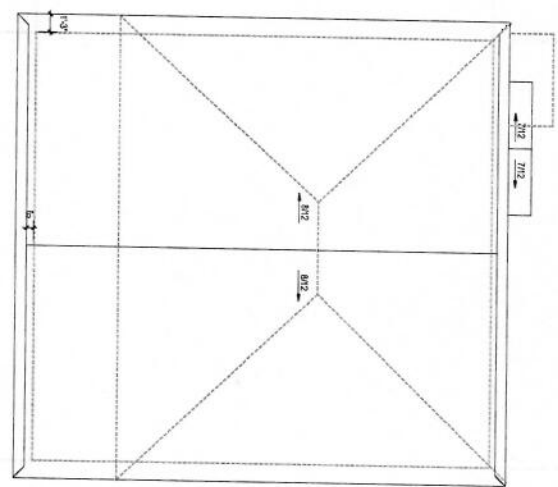
0 1' 2' 3' 4' 5'

PAID NO.
x5



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PLAN WALL LEGEND
Proposed Sheet Wall
Existing Walls to Remain
Existing Walls to be Removed
Proposed Concrete Wall
Notes of Elevation to Elevation

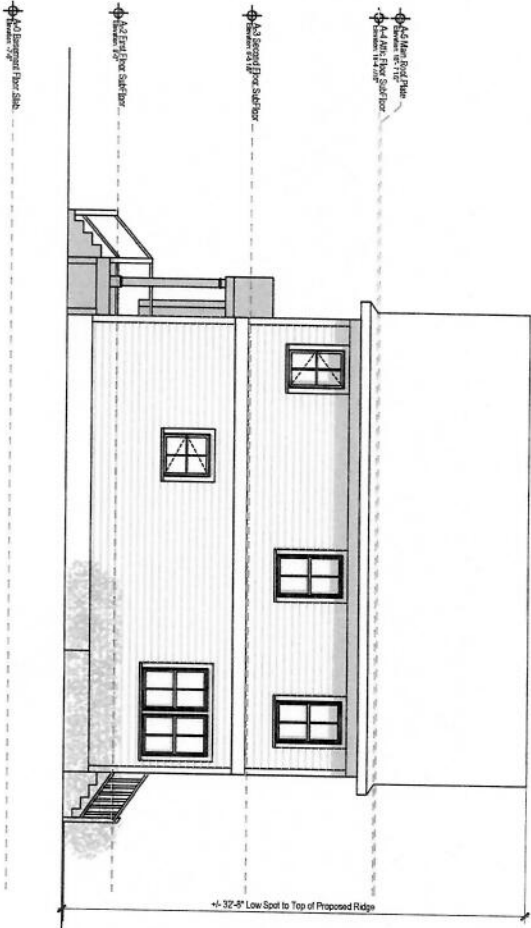
REVISION DATE:
2023 04 25 ZSA Sd4
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Perlow Residence
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Marshfield, MA
Proposed Roof Plan

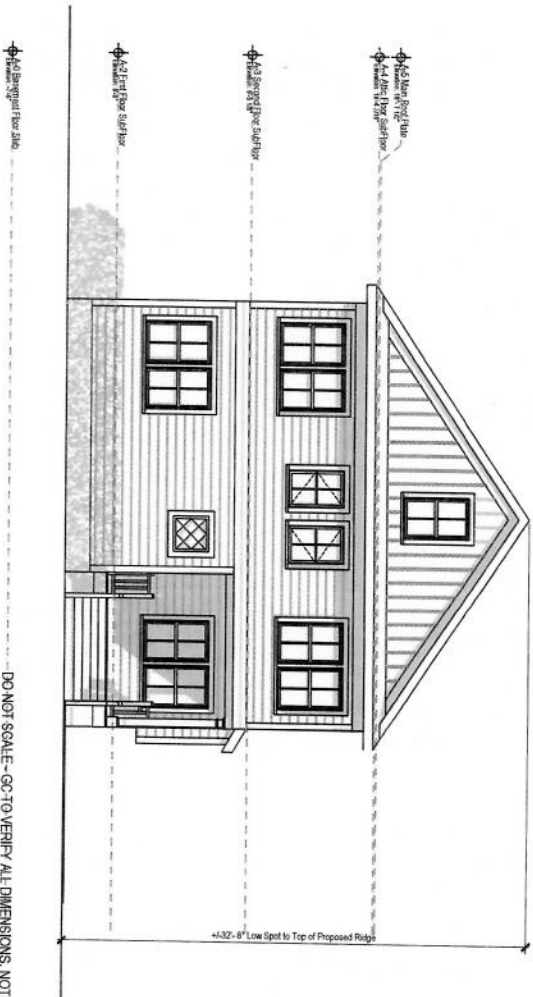
NOTE: ORIGINAL DRAWING SET TO PROJECT SCALE. PAPER NO. 5

DO NOT SCALE - GO TO VERIFY ALL DIMENSIONS. NOTIFY ARCHITECT OF ANY DISCREPANCY

1 Side Elevation
Scale 1/8"=1'-0"



② **Front Elevation**
Scale 1/8" = 1'-0"



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Proposed Building Elevations

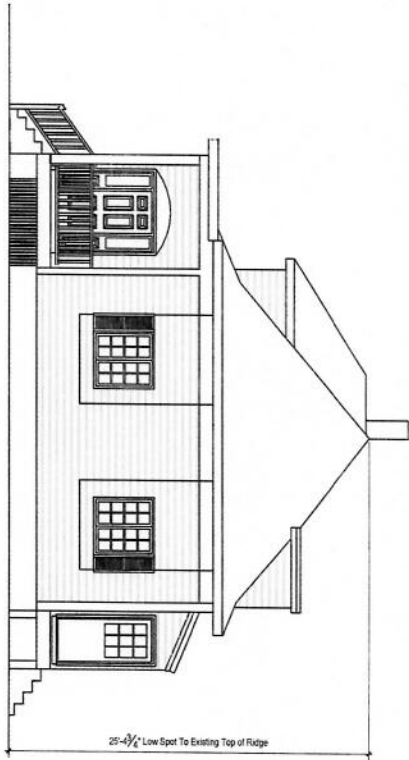
Perlow Residence
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Marblehead, MA

NOTE: ORIGINAL DRAWING SET TO 2005 FULL SCALE

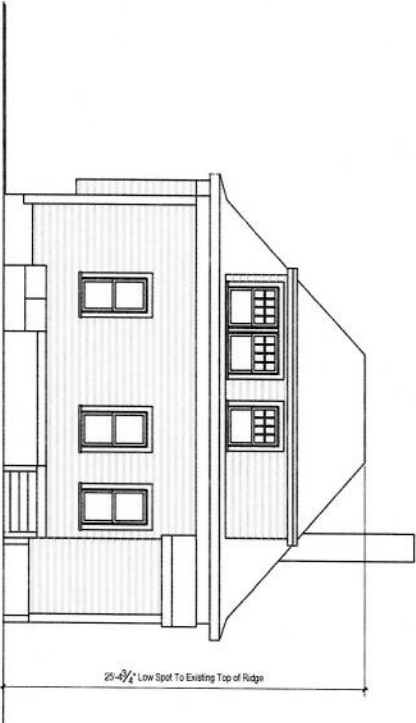
PAGE NO. 6

9


① Side Elevation
Scale: 1/8" = 1'-0"



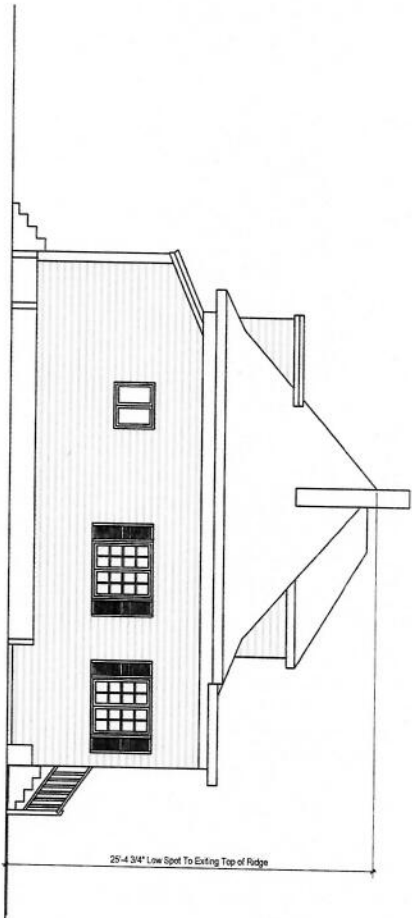
② Rear Elevation
Scale: 1/8" = 1'-0"



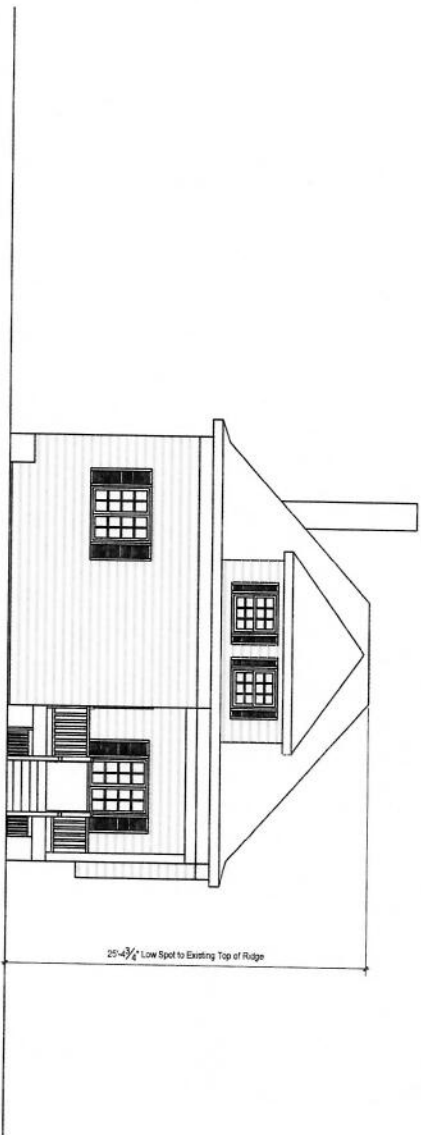
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| | | |
|---|---|--|
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|---|---|--|


① Side Elevation
Scale: 1/8" = 1'-0"



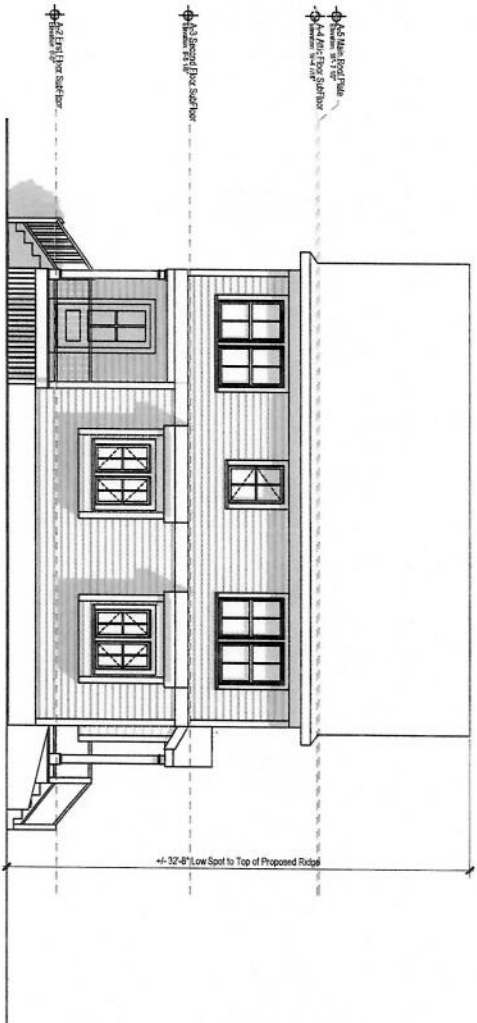
② Front Elevation
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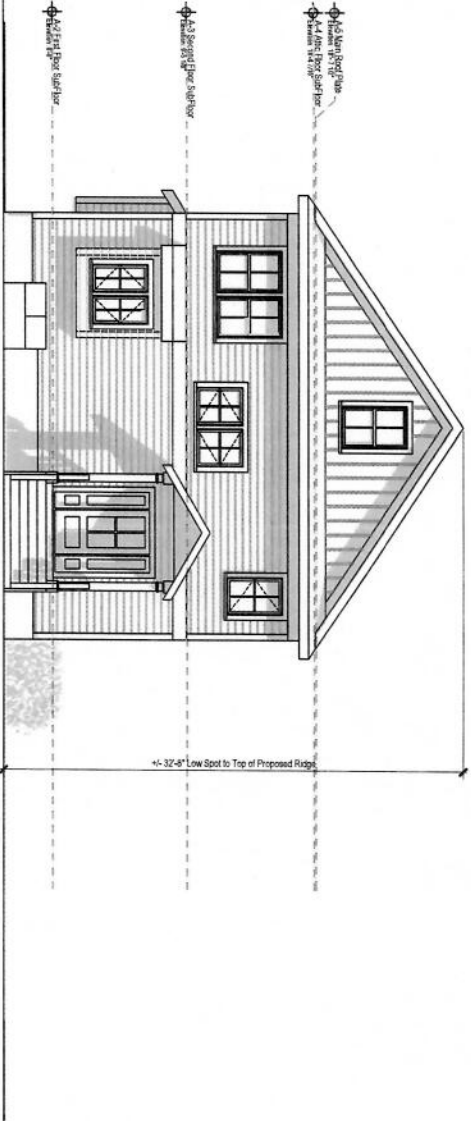
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|---|--|--|
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|---|--|--|



① Side Elevation
Scale: 1/8" = 1'-0"



② Rear Elevation
Scale: 1/8" = 1'-0"



DO NOT SCALE - GC TO VERIFY ALL DIMENSIONS, NOTIFY ARCHITECT OF ANY DISCREPANCY

| | |
|---|------------------------------|
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| <p>REVISION DATE 2023 04 25 ZBA Set</p> <p>NOT FOR CONSTRUCTION</p> | |
| <p>Proposed Building Elevations</p> <p>Perlow Residence 11 Ruby Avenue Marblehead, MA</p> | |
| <p>NOTE: ORIGINATOR DRAWING SET TO SCALE FULL SCALE</p>  | <p>PAGE NO. 7</p> |