



TOWN SEAL
tel: 781-631-1529

fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

2023 JUL 24 PM 3: 50

ZBA APPLICATION

PAGE 1 of 3

Town Clerk

Project Address 4 Thompson Road

Assessor Map(s) 51 Parcel Number(s) 24

OWNER INFORMATION

Signature _____ date _____

Name (printed) David Miller

Address 4 Thompson Road, Marblehead, MA 01945

Phone Numbers: home 617-908-9165 work _____

E-mail davidgeorgemiller@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date 7/24/23

Name (printed) David Miller

Address c/o Paul M. Lynch, Esq., Zero Spring Street, Marblehead, MA 01945

Phone Numbers: home _____ work 781-631-7808

E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Special Permit to construct a deck at the rear of the existing single-family dwelling
on a lot with less than the required lot area, frontage, lot width and side yard setbacks.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) _____

2. Town Clerk's stamp (upper right corner) _____

7/24/23

Reviewed by
Building Department
For Zoning Board
Of Appeals

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 4 Thompson Road

Map(s) / Parcel(s) 51/24

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Single-Family Dwelling

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No _____ (explain) _____

PROPOSED CHANGE OF USE

No X Yes _____ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes _____ No X

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- X Lot Area - Less than required (§200-7 and Table 2)
X Lot Width - Less than required (§200-7)
X Frontage - Less than required (§200-7 and Table 2)
_____ Front Yard Setback - Less than required (Table 2)
_____ Rear Yard Setback - Less than required (Table 2)
X Side Yard Setback - Less than required (Table 2)
_____ Height - Exceeds maximum allowed (§200-7 and Table 2)
_____ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
X Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
_____ Other Non-conformities (explain) _____
_____ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- _____ Lot Area - Less than required (§200-7 and Table 2)
_____ Lot Width - Less than required (§200-7)
_____ Frontage - Less than required (§200-7 and Table 2)
_____ Front Yard Setback - Less than required (Table 2)
_____ Rear Yard Setback - Less than required (Table 2)
X Side Yard Setback - Less than required (Table 2)
_____ Height - Exceeds maximum allowed (§200-7 and Table 2)
_____ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)
_____ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
_____ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)
_____ Other Non-conformities (explain) _____
_____ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission	Yes _____	No <u>X</u>
Historic District Commission	Yes _____	No <u>X</u>
Planning Board	Yes _____	No <u>X</u>

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For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No _____ (explain) _____

Building Official _____

Date 7/24/23

Town of Marblehead
ZBA-APPLICATION
Page 3 of 3

Revision Date: 12-02-2020

Project Address 4Thompson Road

Map(s) / Parcel(s) 51/24

NET OPEN AREA (NOA)

Lot area = A

EXISTING

PROPOSED

6,578

6,578

Area of features

footprint of accessory building(s)

300

300

footprint of building

1,330

1,330

footprint of deck(s), porch(es), step(s), bulkhead(s)

67

339

number of required parking spaces 2 x (9'x 18' per space)

324

324

area of pond(s), or tidal area(s) below MHW

0

0

other areas (explain) _____

0

0

Sum of features = B

2,021

2,293

Net Open Area (NOA) = (A - B)

4,557

4,285

GROSS FLOOR AREA (GFA)

accessory structure(s)

300

300

basement or cellar (area >5' in height)

1,290

1,290

1st floor (12' or less in height) NOTE: [for heights exceeding

1,330

1,330

2nd floor (12' or less in height) 12' see definition

832

832

3rd floor (12' or less in height) of STORY §200-7]

0

0

4th floor (12' or less in height)

0

0

attic (area >5' in height)

150

150

area under deck (if >5' in height)

0

0

roofed porch(es)

0

0

Gross Floor Area (GFA) = sum of the above areas

3,902

3,902

Proposed total change in GFA = (proposed GFA - existing GFA)

= 0

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100

= 0

%

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

= 1:1.17

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

= 1:1.1

This worksheet applies 1. plan by/dated Susan Koelle Architect 7/19/2023

to the following plan(s): 2. plan by/dated Massachusetts Survey Consultants 7/12/2023

3. plan by/dated _____

Building Official _____

Date 7/24/23

Reviewed by
Building Department
For Zoning Board
Of Appeals

4 THOMPSON ROAD - NEW DECK MARBLEHEAD, MA

ISSUED FOR ZBA REVIEW

ZONING REQUIREMENTS FOR SINGLE FAMILY HOUSE IN SINGLE RESIDENCE DISTRICT

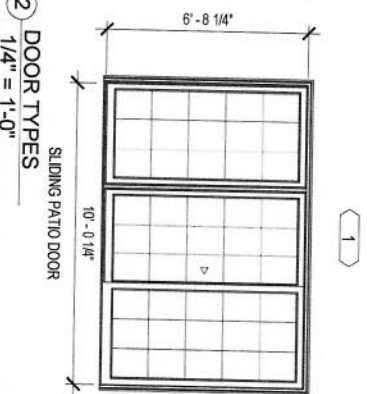
	REQUIRED	EXISTING	PROPOSED
MIN. LOT AREA	10,000sf	6,578sf	6,578sf
MIN. LOT FRONTAGE	100'	65'	65'
OPEN AREA RATIO	1	1.17	1.1
MAX. BUILDING HEIGHT	35'	30'-7"	30'-7"
MIN. FRONT YARD SETBACK	20'	20.1'	20.1'
MIN. SIDE YARD SETBACK	15'	7.7'	7.1'
MIN. REAR YARD SETBACK	15'	4.13'	30.3'
GROSS FLOOR AREA	-	3,902SF	3,902SF

ADOPTED CODES:

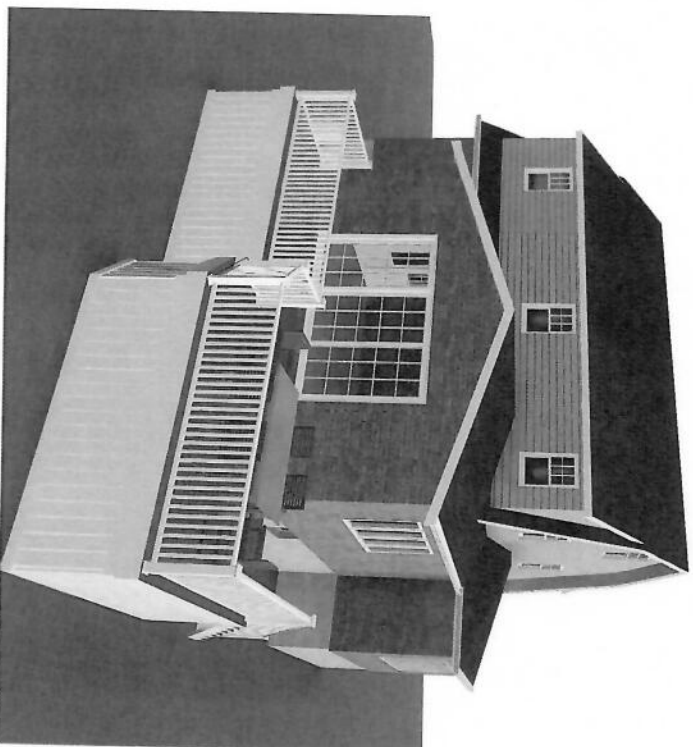
TOWN OF MARBLEHEAD ZONING BYLAWS

BUILDING:

MA 780 CMR, 9TH EDITION RESIDENTIAL VOLUME &
MASSACHUSETTS AMENDMENTS
INTERNATIONAL RESIDENTIAL CODE 2015



- ② DOOR TYPES
1/4" = 1'-0"



Susan Koelle Architect LLC
49 Bennett Road
Marblehead, MA 01945
617.480.4419
www.SusanKoelleArchitect.com

4 THOMPSON ROAD
Marblehead, MA

No.	Description	Date

Cover

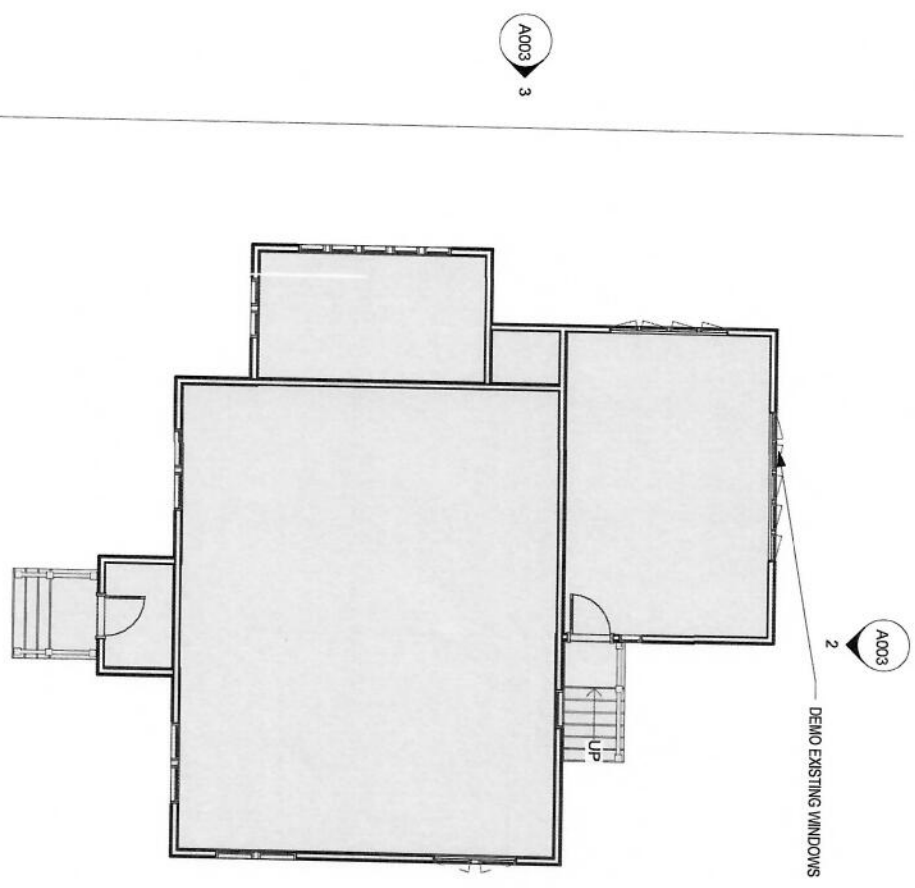
Project number
Date
Drawn by

07/19/2023
SK

A000

Scale 1/4" = 1'-0"

ISSUED FOR ZBA REVIEW



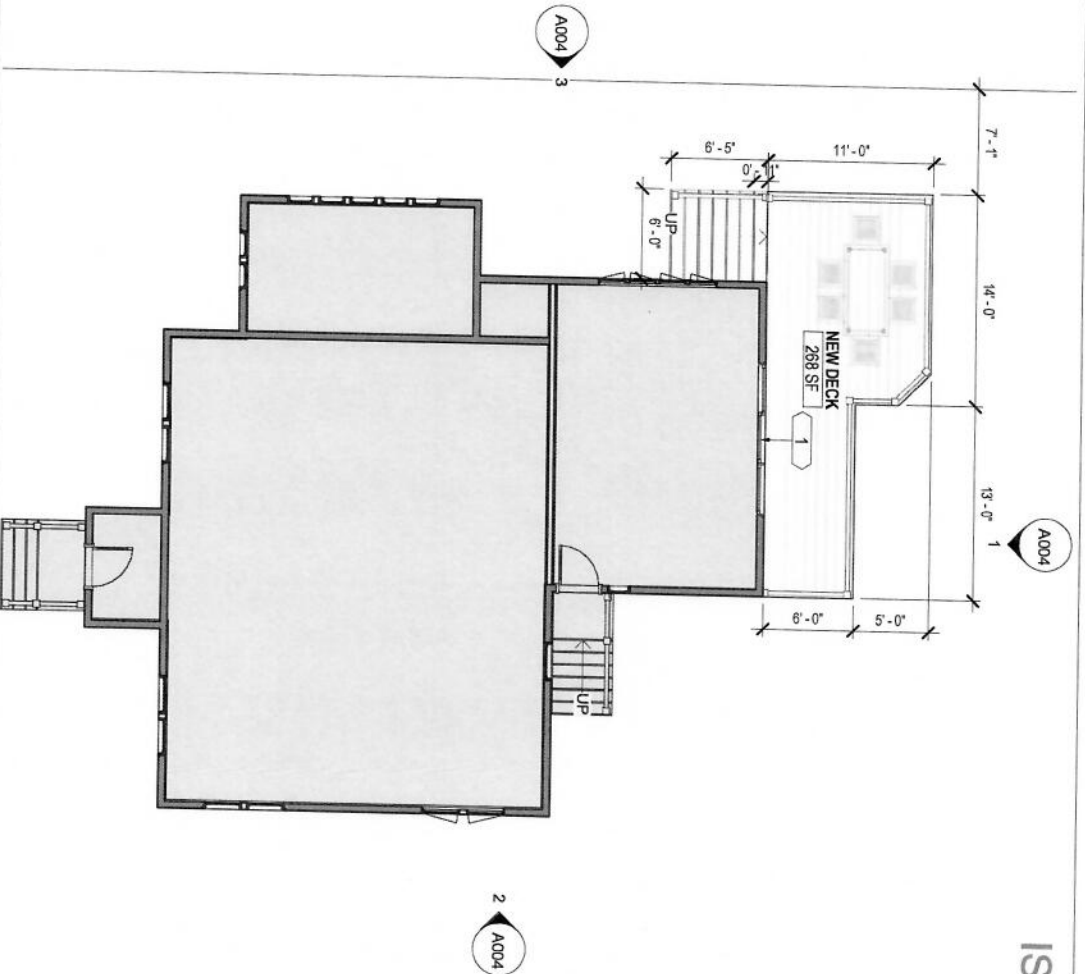
SK
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4 THOMPSON ROAD
Marblehead, MA

No.	Description	Date

Existing Floor Plan		
Project number	07/19/2023	A001
Date	SK	
Drawn by	Scale 1/8" = 1'-0"	

ISSUED FOR ZBA REVIEW



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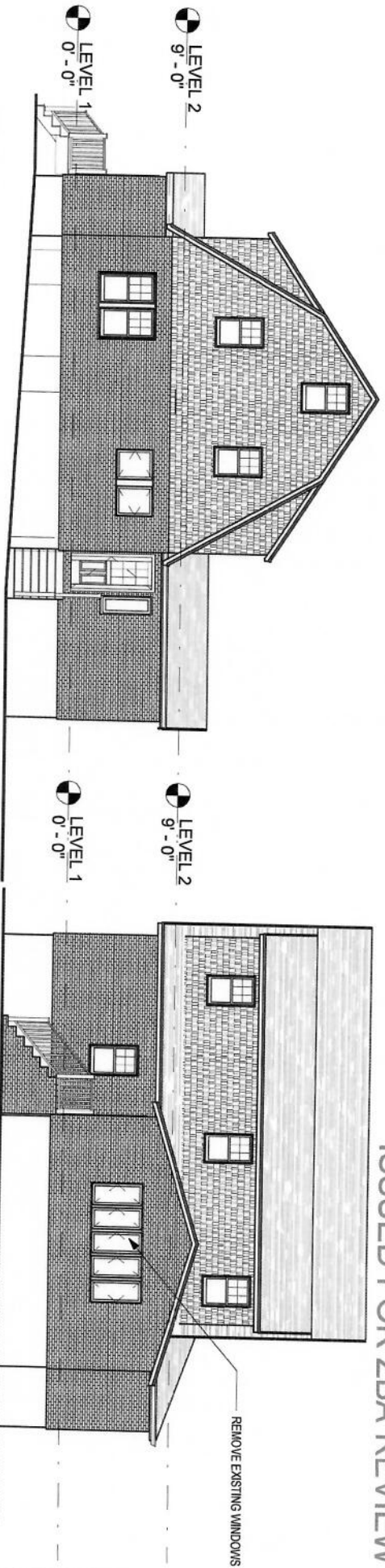
4 THOMPSON ROAD
Marblehead, MA

No.	Description	Date

Proposed Floor Plan

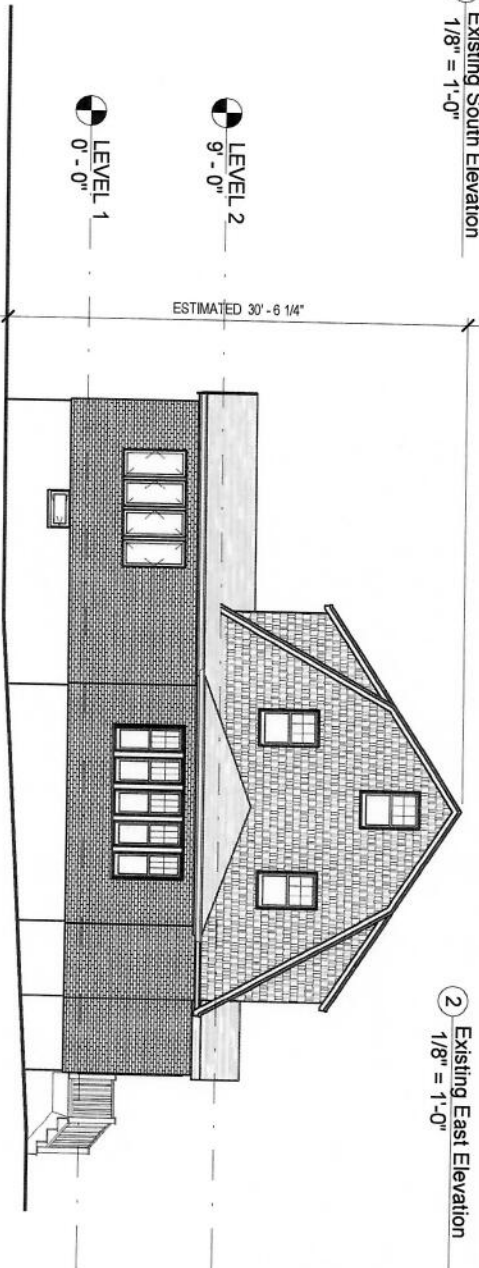
Project number
Date 07/19/2023
Drawn by SK
A002
Scale 1/8" = 1'-0"

ISSUED FOR ZBA REVIEW



1 Existing South Elevation
1/8" = 1'-0"

2 Existing East Elevation
1/8" = 1'-0"



3 Existing North Elevation
1/8" = 1'-0"



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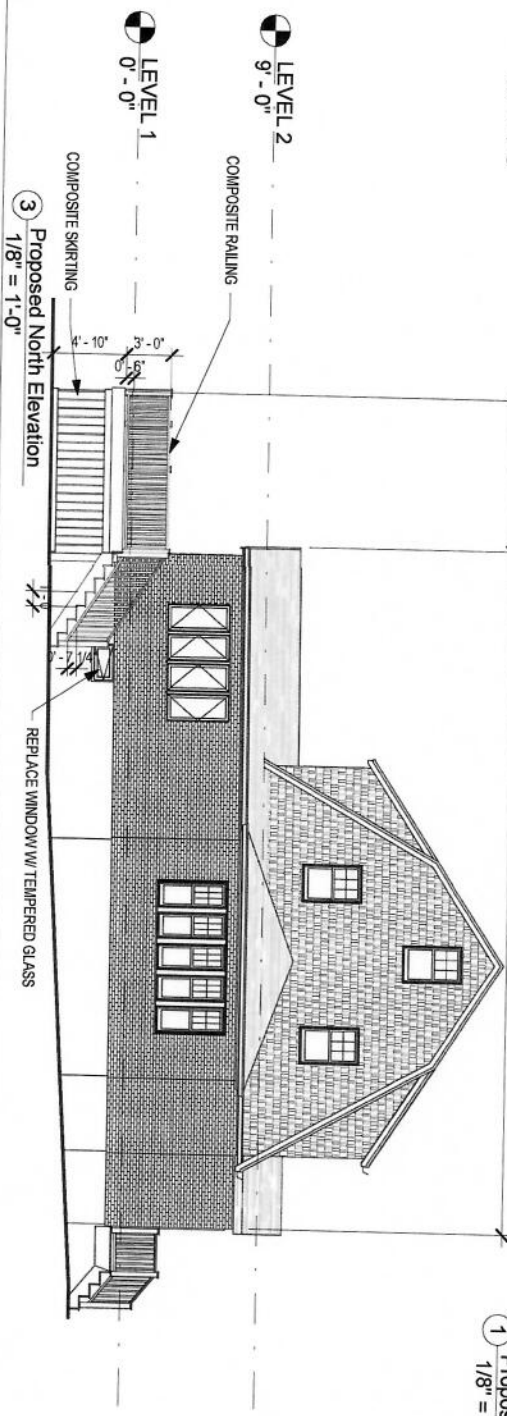
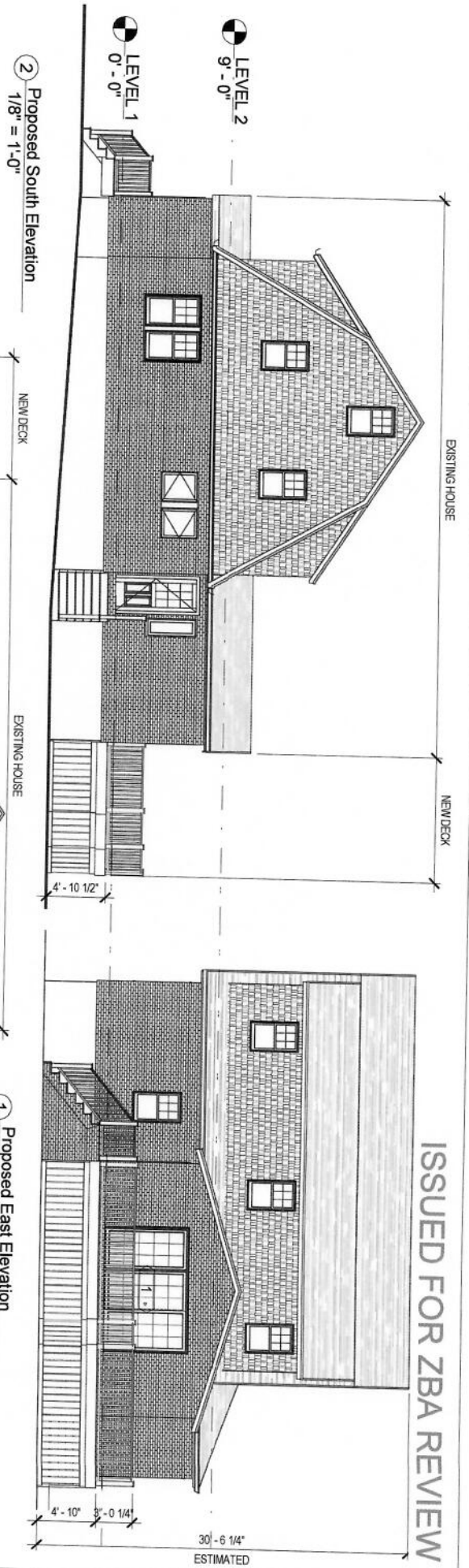
4 THOMPSON ROAD
Marblehead, MA

No.	Description	Date

Existing Elevations

Project number	07/19/2023	A003
Date		
Drawn by	SK	
Scale 1/8" = 1'-0"		

ISSUED FOR ZBA REVIEW



SK

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4 THOMPSON ROAD
Marblehead, MA

No.	Description	Date

Proposed Elevations		
Project number	07/19/2023	A004
Date	SK	
Drawn by	Scale 1/8" = 1'-0"	