



TOWN SEAL
tel: 781-631-1529

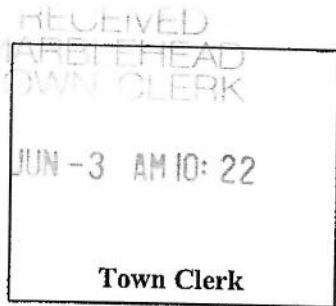
fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 45 Pleasant Street a/k/a 11R Harris Street, Marblehead, MA 01945

Assessor Map(s) 134 Parcel Number(s) 65 - 0

OWNER INFORMATION

Signature [Signature] date June 2, 2021

Name (printed) 45 - 49 Pleasant Street LLC

Address 96 Swampscott Road, Suite 6, Salem, MA 01970

Phone Numbers: home - - work 617-212-8510

E-mail tgroom@groomco.com fax - -

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature [Signature] date June 2, 2021

Name (printed) Robert C. McCann McCann & McCann, P.C.

Address 89 Newbury Street, Suite 302, Danvers, MA 01923

Phone Numbers: home - - work 978-739-8484

E-mail rmccann@mccannlaw.com fax 978-739-8455

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

SEE ATTACHED DESCRIPTION

Reviewed by
Building Department
For Zoning Board
Of Appeals

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - The signed and stamped application (3 pages);
 - Current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - The project design plans as required;
 - Check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3 (D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 6/2/2021
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, zoning - online at: www.marblehead.org/

PSI

PROJECT DESCRIPTION & RELIEF REQUESTED

45 Pleasant Street a/k/a 11R Harris Street, Marblehead, MA 01945
45 – 49 Pleasant Street LLC

The Applicant requests that the Zoning Board of Appeals issue a Special Permit under the Zoning By-Laws allowing the subdivision of the property containing an existing non-conforming Single-Family Dwelling which exceeds the maximum allowed Height on a conforming Lot whereby the subdivision will create two (2) lots and will include a new non-conformity on 11R Harris Street: (a) LOT 1 - 49 Pleasant Street which will contain the existing Single-Family Dwelling with no new non-conformities to be created; and (b) Lot 2 – to be known as 11R Harris Street which will contain a new fully conforming Single-Family Dwelling but will require a Special Permit for less than the required Lot Frontage and Lot Width but will otherwise conform to the Dimensional Regulations. The property is currently known as **45 PLEASANT STREET** in a **CENTRAL RESIDENCE DISTRICT**.

DETAILS OF REQUESTS

Attached hereto as an Exhibit for informational purposes is a Zoning Board of Appeals Application showing the resulting 49 Pleasant Street Lot.

The property at 49 Pleasant Street currently consists of a fully conforming Lot with a non-conforming Dwelling that has been used as a Three-Family. Recent renovations completed under a validly issued Building Permit has reduced the GFA on the existing Dwelling by 2,994 square feet (a reduction of 27%) and has removed the two apartments, with the intent to have the remaining structure serve as a Single-Family Dwelling, a use permitted as a matter of right.

The new Lot, if the Special Permit is granted, will be assigned the number 11R Harris Street and will have a new fully conforming Single-Family Dwelling constructed. The relief requested is:

1. A Special Permit for the Lot Frontage of 26.50 feet (35 feet required) which will be on Harris Street and which will serve as the driveway entrance for both 11R Harris Street and 49 Pleasant Street.
2. A Special Permit for Lot width if required.

Town of Marblehead
ZBA-APPLICATION

Revision Date: 12-02-2020

Page 2 of 3

Project Address 45 Pleasant Street a/k/a 11R Harris Street, Marblehead, MA 01945 Map(s)/Parcel(s) 134 / 65 - 0

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) Vacant Lot if Frontage Relief is Granted

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes X No (explain) As a new vacant lot if approved

PROPOSED CHANGE OF USE

No Yes X (explain) Construct a new Single-Family dwelling

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes X No

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area – Less than required (§200-7 and Table 2)
 Lot Width – Less than required (§200-7)
 Frontage – Less than required (§200-7 and Table 2)
 Front Yard Setback – Less than required (Table 2)
 Rear Yard Setback – Less than required (Table 2)
 Side Yard Setback – Less than required (Table 2)
 Height – Exceeds maximum allowed (§200-7 and Table 2)
 Open Area – Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking – Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Other Non-conformities (explain)
X No Existing Dimensional Non-Conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

- Lot Area – Less than required (§200-7 and Table 2)
X Lot Width – Less than required (§200-7)
X Frontage – Less than required (§200-7 and Table 2)
 Front Yard Setback – Less than required (Table 2)
 Rear Yard Setback – Less than required (Table 2)
 Side Yard Setback – Less than required (Table 2)
 Height – Exceeds maximum allowed (§200-7 and Table 2)
 Open Area – Less than required (§200-7, §200-15.B(2) and Table 2)
 Parking – Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)
 Exceeds 10% Expansion Limits for Nonconforming Building (§200-30.D)
 Other Non-conformities (explain)
 No Existing Dimensional Non-Conformities – Height will remain the same

ADDITIONAL HEARINGS REQUIRED

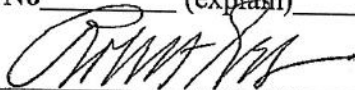
Conservation Commission	Yes <u> </u>	No <u>X</u>
Historic District Commission	Yes <u>X</u>	No <u> </u>
Planning Board	Yes <u> </u>	No <u>X</u>

Reviewed by
Building Department
For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes X No (explain)

Building Official



Date 6-2-2021

ZBA-APPLICATION

Page 3 of 3

Revision Date: 12-02-2020

Project Address 45 Pleasant Street a/k/a 11R Harris Street, Marblehead, MA 01945 Map(s)/Parcel(s) 134 / 65 - 0**NET OPEN AREA (NOA)****EXISTING****PROPOSED**

Lot area = A

11525

Area of features

footprint of accessory building(s)

0

footprint of building

2211

footprint of deck(s), porch(es), step(s), bulkhead(s)

156number of required parking spaces 2 x (9'x18' per space)324

area of pond(s), or tidal area(s) below MHW

0

other areas (explain) _____

0

Sum of features = B

2691

Net Open Area (NOA) = (A - B)

8824**GROSS FLOOR AREA (GFA)**

accessory structure(s)

0

basement or cellar (area >5' in height)

1489

1st floor (12' or less in height) NOTE:[for heights exceeding

2181

2nd floor (12' or less in height) 12' see definition

2056

3rd floor (12' or less in height) of STORY §200-7]

0

4th floor (12' or less in height)

0

attic (area >5' in height)

1013

area under deck (if >5' in height)

0

roofed porch(es)

120

Gross Floor Area (GFA) = sum of the above areas

6859**Proposed total change in GFA** = (proposed GFA - existing GFA) = N/A**Percent change in GFA** = (proposed total change in GFA ÷ existing GFA) x 100 = N/A %**Existing Open Area Ratio** = (existing NOA ÷ existing GFA) Reviewed by Building Department N/A**Proposed Open Area Ratio** = (proposed NOA ÷ proposed GFA) For Zoning Board Of Appeals = 1.3This worksheet applies 1. plan by/dated North Shore Survey dated June 1, 2021
to the following plan(s): 2. plan by/dated Pitman & Wardley and BF Design dated May 25, 2021Building Official [Signature] 3. plan by/dated _____ Date 6-2-2021

Exhibit

EXISTING BUILDING TO REMAIN
NO PRESENT RELIEF REQUESTED
FOR EXISTING BUILDING
SUBMITTED WITH APPLICATION FOR INFORMATIONAL PURPOSES

Project Address 45 Pleasant Street, Marblehead, MA 01945

Assessor Map(s) 134 Parcel Number(s) 65 - 0

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EXHIBIT

Town of Marblehead
ZBA-APPLICATION

Page 2 of 3

Revision Date: 12-02-2020

Project Address 45 PLEASANT STREET Map(s) / Parcel(s) 134/65

ZONING DISTRICT (circle all that apply)

B B1 BR CR SCR ECR GR SGR SR SSR ESR SESR HBR U SU

CURRENT USE (explain) SINGLE FAMILY (CONVERTED FROM 3 FAMILY)

CURRENT USE CONFORMS TO ZONING (Article IV, Table 1)

Yes ☒ No ☐ (explain) _____

PROPOSED CHANGE OF USE

No ☒ Yes ☐ (explain) _____

PROPOSED CONSTRUCTION QUALIFIES AS "Building New" (§200-7) Yes ☐ No ☒

EXISTING DIMENSIONAL NON-CONFORMITIES (check all that apply)

☐ Lot Area - Less than required (§200-7 and Table 2)

☐ Lot Width - Less than required (§200-7)

☐ Frontage - Less than required (§200-7 and Table 2)

☐ Front Yard Setback - Less than required (Table 2)

☐ Rear Yard Setback - Less than required (Table 2)

☐ Side Yard Setback - Less than required (Table 2)

☒ Height - Exceeds maximum allowed (§200-7 and Table 2)

☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)

☐ Other Non-conformities (explain) _____

☐ No Existing Dimensional Non-conformities

NEW DIMENSIONAL NON-CONFORMITIES (check all that apply)

☐ Lot Area - Less than required (§200-7 and Table 2)

☐ Lot Width - Less than required (§200-7)

☐ Frontage - Less than required (§200-7 and Table 2)

☐ Front Yard Setback - Less than required (Table 2)

☐ Rear Yard Setback - Less than required (Table 2)

☐ Side Yard Setback - Less than required (Table 2)

☐ Height - Exceeds maximum allowed (§200-7 and Table 2)

☐ Open Area - Less than required (§200-7, §200-15.B(2) and Table 2)

☐ Parking - Less than required; undersized; tandem (§200-17 to §200-21) (circle all that apply)

☐ Exceeds 10% Expansion Limits for Non-conforming Building (§200-30.D)

☐ Other Non-conformities (explain) _____

☒ No New Dimensional Non-conformities

ADDITIONAL HEARINGS REQUIRED

Conservation Commission

Yes ☐ No ☒

Historic District Commission

Yes ☒ No ☐

Planning Board

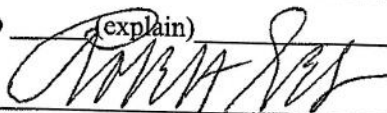
Yes ☐ No ☒

Reviewed by
Building Department
For Zoning Board
Of Appeals

DESIGN & SURVEY PLANS MEET -ZBA- RULES & REGULATIONS (Sections 3(A) and 3(C))

Yes ☒ No ☐ (explain) _____

Building Official



Date JUNE 2, 2021

Exhibit

ZBA-APPLICATION

Page 3 of 3

Revision Date: 12-02-2020

EXISTING DWELLING ON REMAINING LOT

Project Address 45 Pleasant Street, Marblehead, MA 01945 Map(s)/Parcel(s) 134 / 65 - 0

NET OPEN AREA (NOA)

	<u>EXISTING</u>	<u>PROPOSED</u>
Lot area = A	<u>22905</u>	<u>11380</u>
Area of features		
footprint of accessory building(s)	<u>840</u>	<u>0</u>
footprint of building	<u>2880</u>	<u>2240</u>
footprint of deck(s), porch(es), step(s), bulkhead(s)	<u>271</u>	<u>428</u>
number of required parking spaces <u>2</u> x (9'x18' per space)	<u>324</u>	<u>324</u>
area of pond(s), or tidal area(s) below MHW	<u>0</u>	<u>0</u>
other areas (explain) _____	<u>0</u>	<u>0</u>
Sum of features = B	<u>4315</u>	<u>2992</u>
Net Open Area (NOA) = (A - B)	<u>18590</u>	<u>8388</u>

GROSS FLOOR AREA (GFA)

accessory structure(s)	<u>840</u>	<u>0</u>
basement or cellar (area >5' in height)	<u>2880</u>	<u>2240</u>
1st floor (12' or less in height) NOTE:[for heights exceeding	<u>2863</u>	<u>2110</u>
2nd floor (12' or less in height) 12' see definition	<u>2462</u>	<u>1800</u>
3rd floor (12' or less in height) of STORY §200-7]	<u>1393</u>	<u>1393</u>
4th floor (12' or less in height)	<u>0</u>	<u>0</u>
attic (area >5' in height)	<u>300</u>	<u>0</u>
area under deck (if >5' in height)	<u>271</u>	<u>356</u>
roofed porch(es)	<u>17</u>	<u>133</u>
Gross Floor Area (GFA) = sum of the above areas	<u>11026</u>	<u>8032</u>

Proposed total change in GFA = (proposed GFA - existing GFA) = - 2994

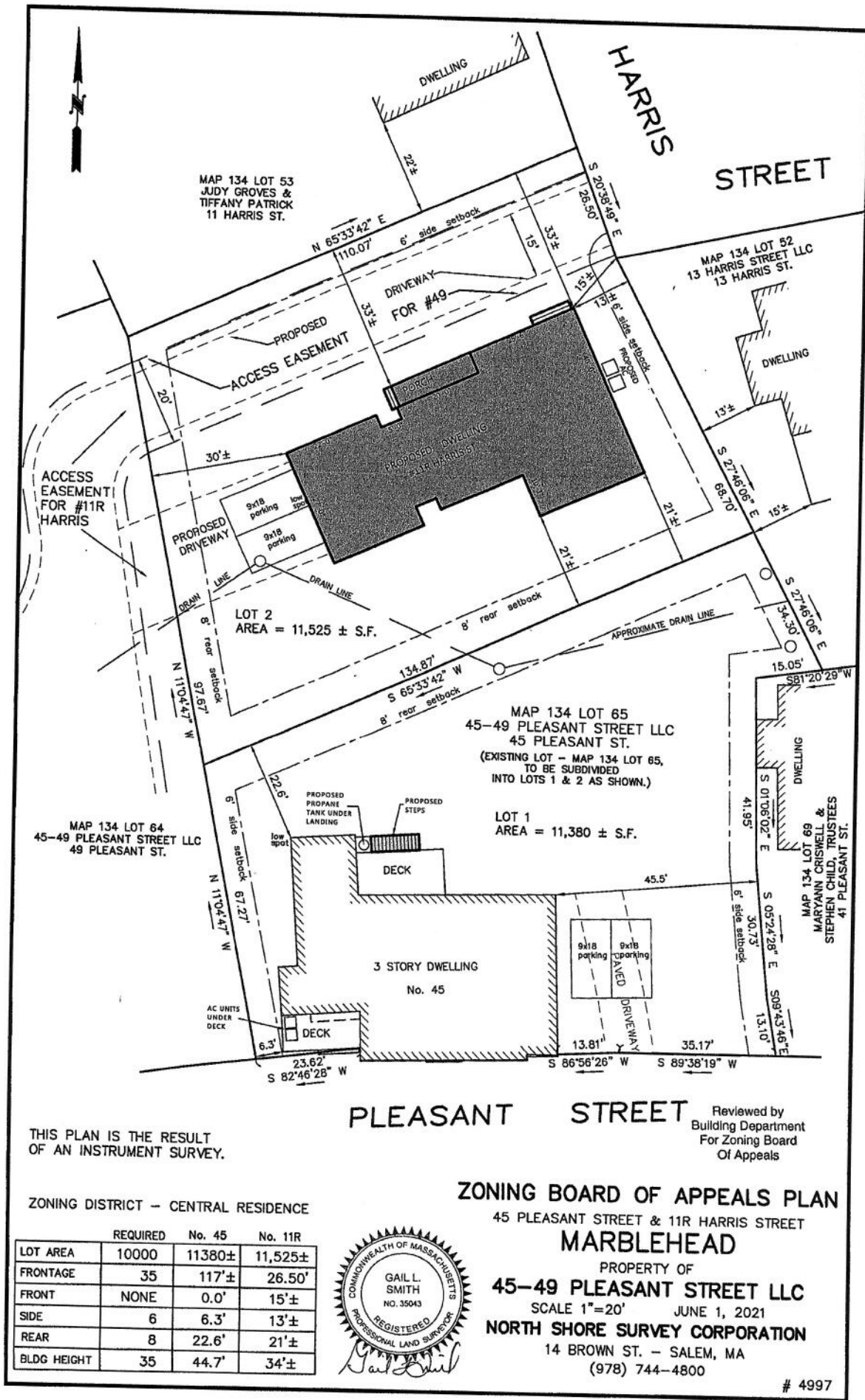
Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100 = - 27 %

Existing Open Area Ratio = (existing NOA ÷ existing GFA) = 1.69

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA) = 1.04

This worksheet applies 1. plan by/dated North Shore Survey dated June 1, 2021
to the following plan(s): 2. plan by/dated Pitman & Wardley and BF Design dated May 25, 2021

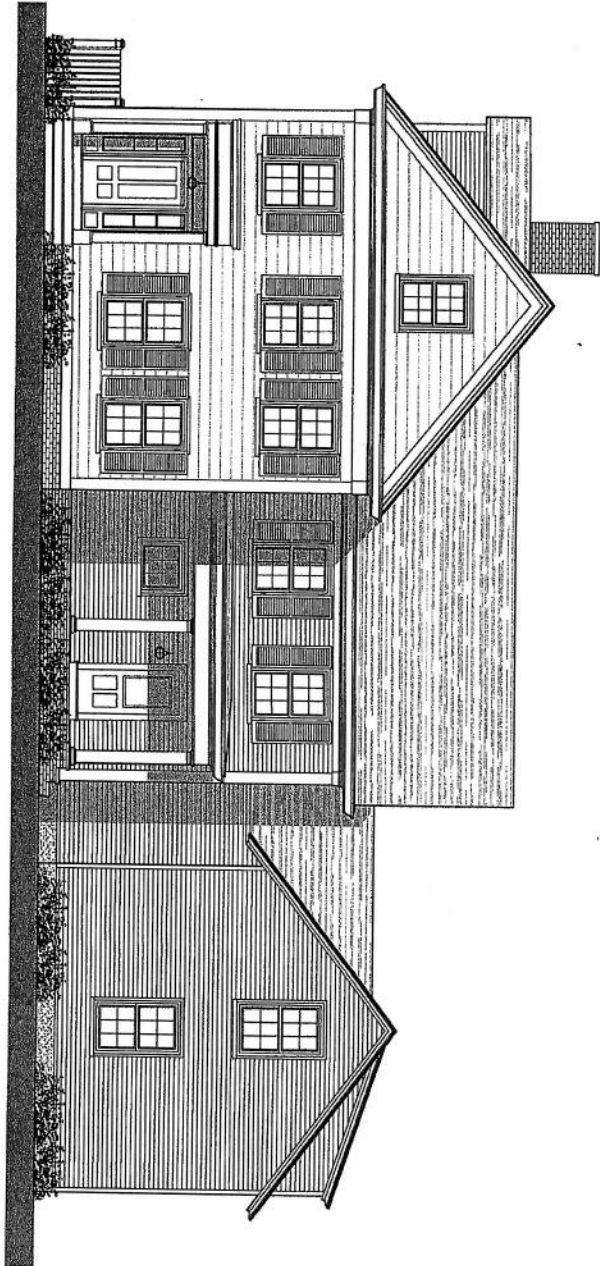
Building Official [Signature] Date 6-2-2021



HARRIS STREET SINGLE FAMILY RESIDENCE

11R HARRIS STREET
MARBLEHEAD, MA. 01945

MARBLEHEAD ZONING BOARD OF APPEALS
DRAWINGS ISSUED JUNE 1, 2021



PITTMAN & WARDLEY
ASSOCIATES LLC
ARCHITECTURE & DESIGN
32 CHURCH STREET
SALISBURY, MASSACHUSETTS 01970
978-744-8982

BRIGGIE FORTIN, AIA
ARCHITECT
32 CHURCH STREET
SALISBURY, MASSACHUSETTS 01970
978-744-8982

HARRIS STREET SINGLE FAMILY RESIDENCE
11R HARRIS STREET
MARBLEHEAD, MA. 01945

PROJECT TEAM

ARCHITECT:
PITTMAN & WARDLEY ASSOCIATES, LLC
32 CHURCH STREET
SALISBURY, MA. 01970
978-744-8982
BRIGGIE FORTIN DESIGN, INC.
32 CHURCH STREET
SALISBURY, MA. 01970
617-438-4882
PROJECT OWNER:
45-49 PLEASANT STREET LLC
45-49 PLEASANT STREET
MARBLEHEAD, MA. 01945
GENERAL CONTRACTOR:
GROOM CONSTRUCTION CO., INC
86 SWANSCOTT ROAD
SALISBURY, MA. 01970
781-685-5153
SURVEYOR:
NORTH SHORE SURVEY CORP.
14 BROWN STREET
SALISBURY, MA. 01970
978-744-4800
LANDSCAPE ARCHITECT:
PITTMAN & WARDLEY ASSOCIATES
22 CARTON ROAD
MARBLEHEAD, MA. 01975
781-622-7467

DRAWING INDEX

A0.0 COVER PAGE
C1.1 PROPOSED SITE PLAN
A1.0 PROPOSED BASEMENT LEVEL PLAN
A1.1 PROPOSED FIRST LEVEL PLAN
A1.2 PROPOSED SECOND LEVEL PLAN
A1.3 PROPOSED ATTIC LEVEL PLAN
A1.4 PROPOSED ROOF PLAN
A2.1 PROPOSED FRONT ELEVATION (HARRIS STREET)
A2.2 PROPOSED LEFT ELEVATION
A2.3 PROPOSED REAR ELEVATION
A2.4 PROPOSED RIGHT ELEVATION

GROSS FLOOR AREA (GFA) CALCULATIONS

BASEMENT LEVEL PLAN AREA-S-07
FIRST LEVEL PLAN AREA-S-07
SECOND LEVEL PLAN (12'x12' ON LENS)
ATTIC LEVEL (AREA-S-07)
ROOFED PORCHES(S)
GROSS FLOOR AREA (GFA)
1,489 SQFT
2,091 SQFT
2,091 SQFT
1,033 SQFT
103 SQFT
\$359 SQFT

Reviewed by
Building Department
For Zoning Board
Of Appeals

SUBMISSION:

MARBLEHEAD ZONING
BOARD OF APPEALS

DRAWING NUMBER:

DRAWING NAME:

JOB NUMBER:

DATE:

SCALE:

AS INDICATED

A0.0
ARCHITECTURAL

PITMAN & WARDLEY
ASSOCIATES LLC
ARCHITECTURE & DESIGN
32 CHURCH STREET
MARBLEHEAD, MASSACHUSETTS 01945
978-744-8982

BF DESIGN
BRIGITTE FORTIN, AIA
ARCHITECT
31 CHURCH STREET
SALISBURY, MASSACHUSETTS 01970
978-744-6992

HARRIS STREET SINGLE FAMILY RESIDENCE

11R HARRIS STREET
MARBLEHEAD, MA. 01945

SUBMISSION:

MARBLEHEAD ZONING
BOARD OF APPEALS

DRAWING NUMBER:

A1.0

DRAWING NAME:

JUNE 2, 2021

JOB NUMBER:

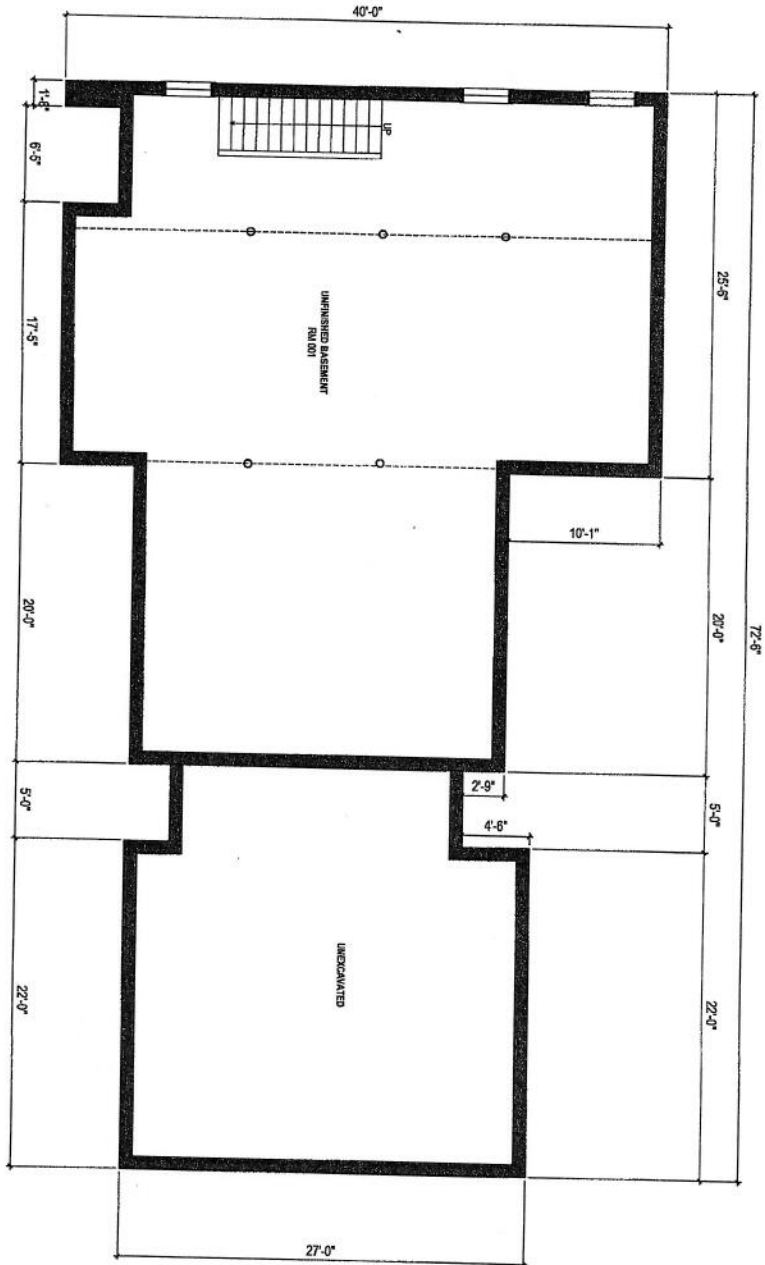
SCALE:

AS INDICATED

ARCHITECTURAL

01 PROPOSED BASEMENT LEVEL PLAN

1/8" = 1'-0"



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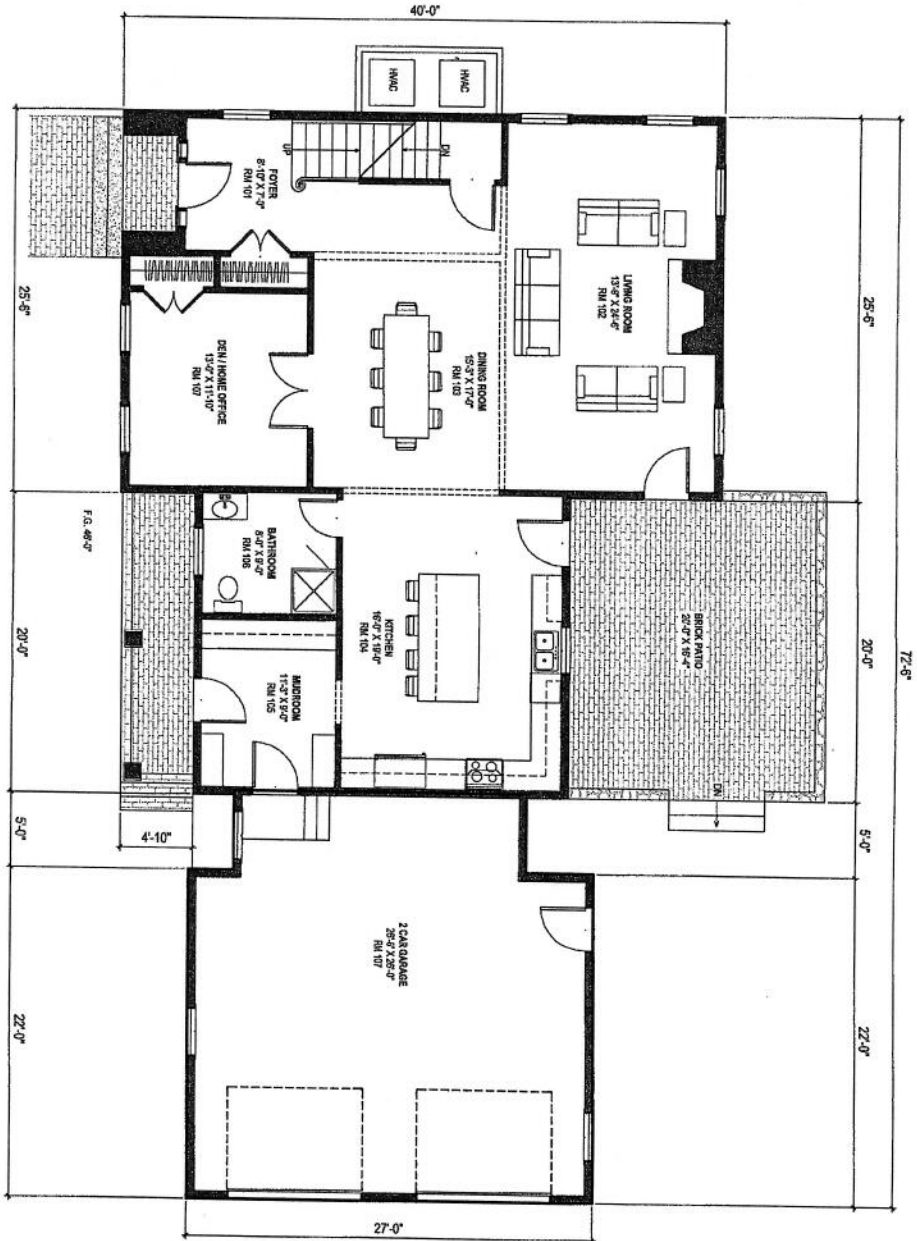
HARRIS STREET SINGLE FAMILY RESIDENCE
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SUBMISSION: **MARBLEHEAD ZONING BOARD OF APPEALS**
DRAWING NAME: **JOB NUMBER:**
DATE: **JUNE 2, 2021** SCALE: **AS INDICATED**

DRAWING NUMBER: **A1.1**
ARCHITECTURAL

Reviewed by
Building Department
For Zoning Board
Of Appeals

01
PROPOSED FIRST LEVEL PLAN
1/8" = 1'-0"



BF DESIGN
BRIGITTE FORTIN, AIA
ARCHITECT
32 CHURCH STREET
SALEM, MASSACHUSETTS 01970
978-744-6982

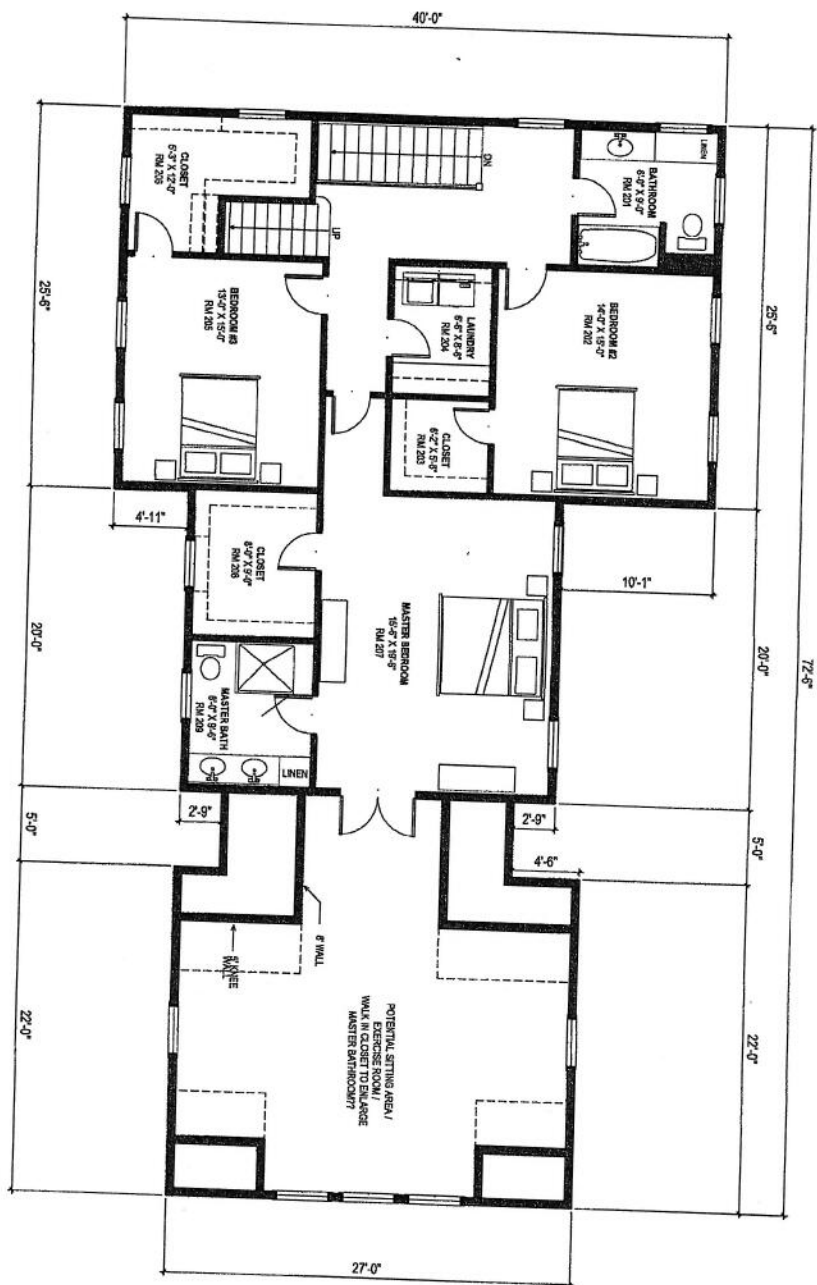
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**MARBLEHEAD ZONING
BOARD OF APPEALS**

DRAWING NAME:	JOB NUMBER:
DATE: JUNE 2, 2021	SCALE: AS INDICATED

SCALE:

Of Appeals

$$\frac{\text{PROP.}}{1/8" = 1'-0"} 01$$


POTENTIAL SITTING AREA /
EXERCISE ROOM /
WALK IN CLOSET TO ENLARGE
MASTER BATHROOM??

PITMAN & WARDLEY
ASSOCIATES LLC
ARCHITECTURE & DESIGN
32 GILKICK STREET
SALISBURY, MASSACHUSETTS 01970
978-744-8982

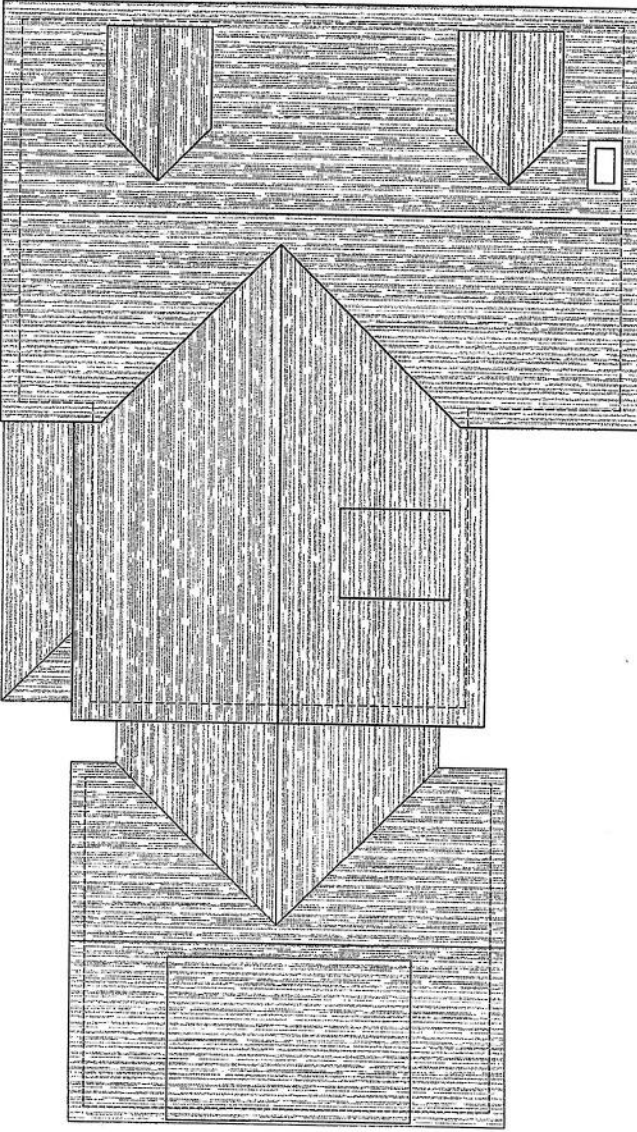
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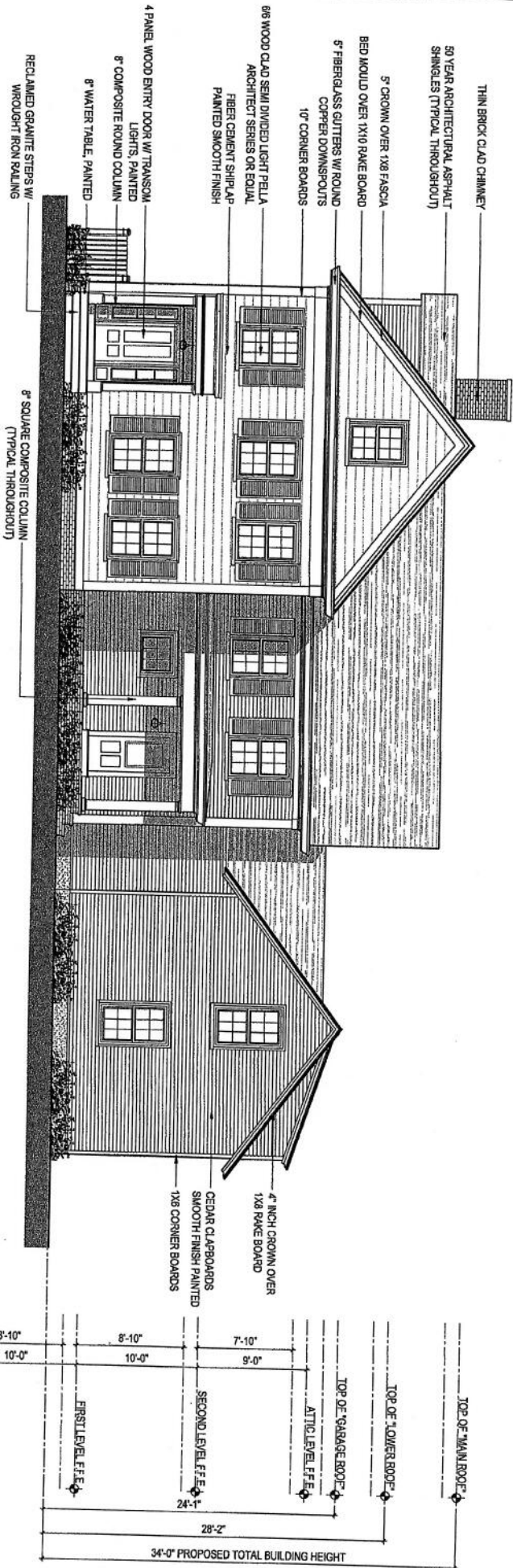
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DRAWING NAME:
DATE: JUNE 2, 2021
JOB NUMBER:
SCALE: AS INDICATED

DRAWING NUMBER:
A1.4
ARCHITECTURAL

01
PROPOSED ROOF PLAN
1/8" = 1'-0"



Reviewed by
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01 PROPOSED FRONT ELEVATION

PITMAN & WARDLEY
ASSOCIATES LLC
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31 CHERCH STREET
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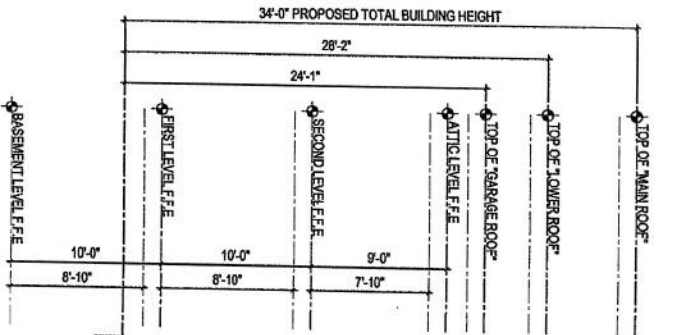
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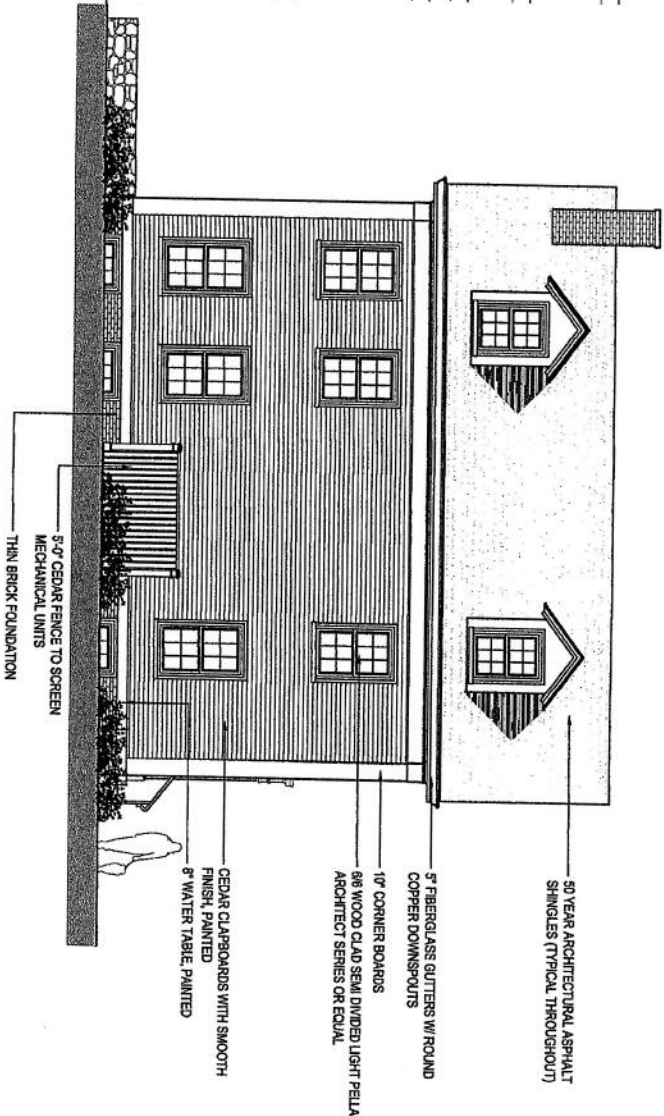
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SUBMISSION:		MARBLEHEAD ZONING BOARD OF APPEALS	
DRAWING NAME:	JOB NUMBER:	A2.1	
DATE:	JUNE 2, 2021	SCALE:	AS INDICATED

DRAWING NUMBER:
A2.1
ARCHITECTURAL



01 PROPOSED LEFT ELEVATION
1/8" = 1'-0"



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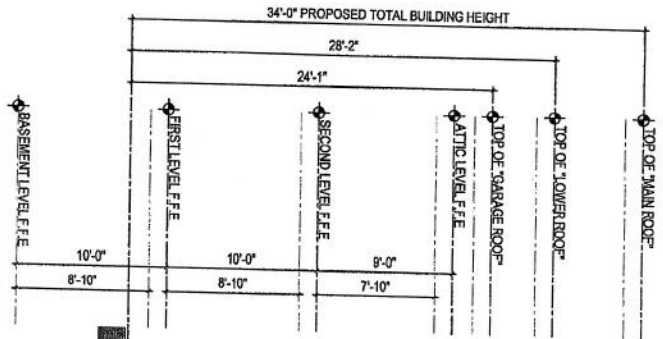
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BRIGHTENING
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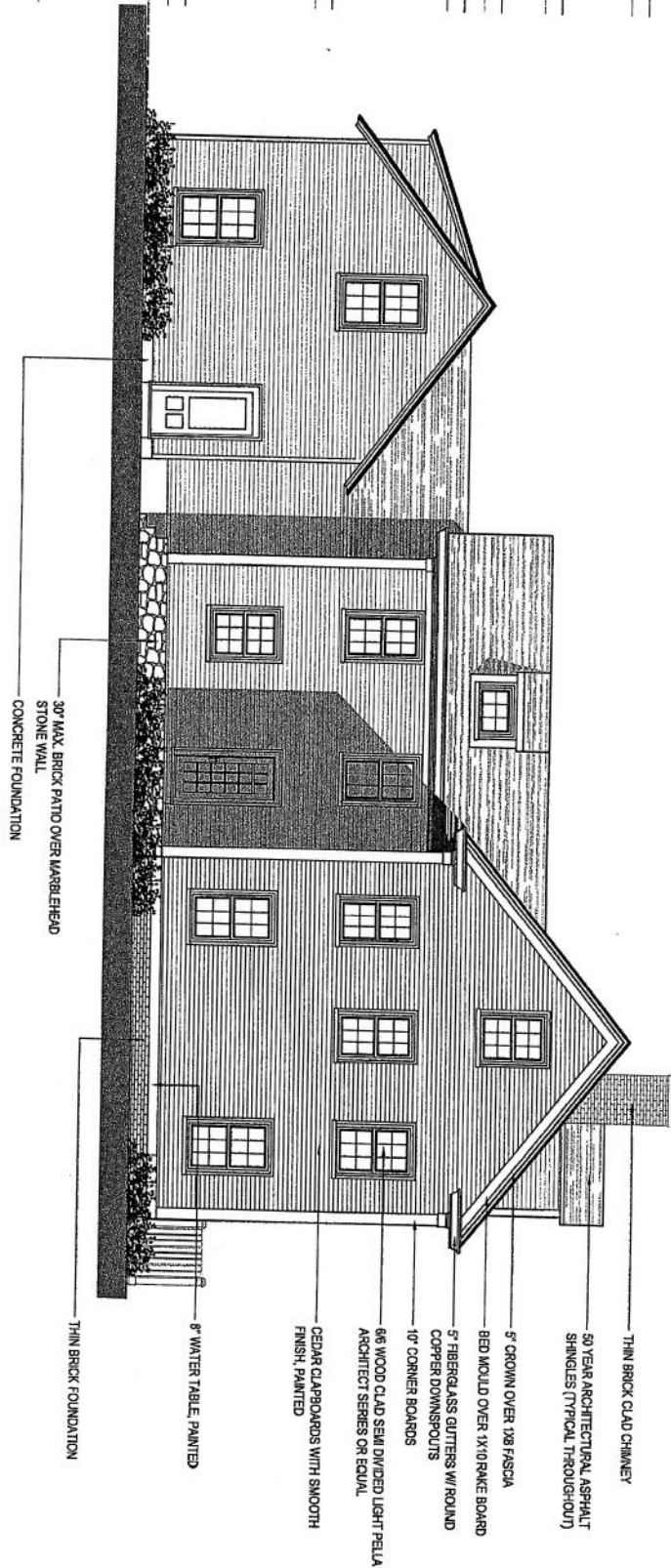
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DRAWING NAME: JDB NUMBER: SCALE: AS NOTED
DATE: JUNE 1, 2021

DRAWING NUMBER: A2.2
ARCHITECTURAL

Reviewed by
Building Department
For Zoning Board
Of Appeals



01 PROPOSED REAR ELEVATION
1/8" = 1'-0"



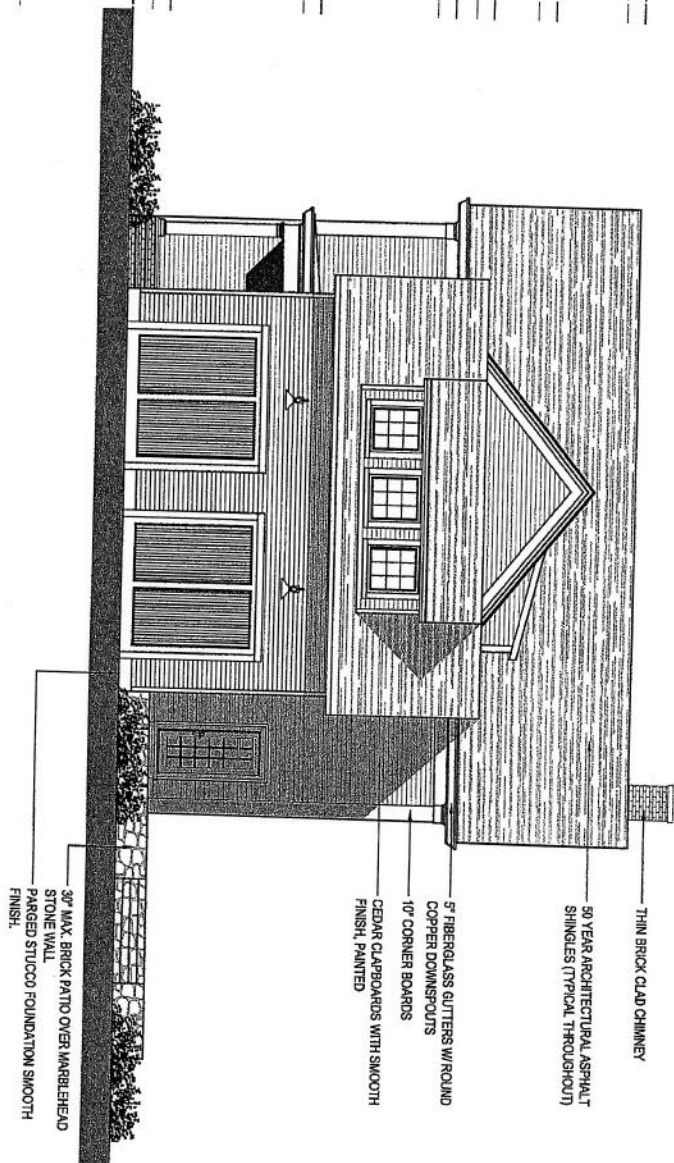
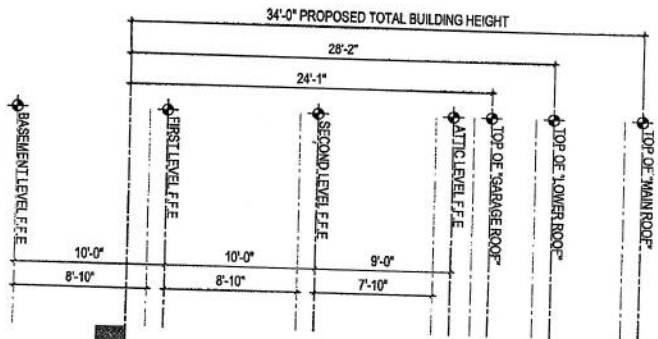
Reviewed by
Building Department
For Zoning Board
Of Appeals

PITMAN & WARDLEY
ASSOCIATES LLC
ARCHITECTURE & DESIGN
32 CHURCH STREET
SALEM, MASSACHUSETTS 01970
978-744-8982

BF DESIGN
BRIGITTE FORTIN, AIA
ARCHITECT
32 CHURCH STREET
SALEM, MASSACHUSETTS 01970
978-744-8982

HARRIS STREET SINGLE FAMILY RESIDENCE
11R HARRIS STREET
MARBLEHEAD, MA, 01945

SUBMISSION:		DRAWING NUMBER:	
MARBLEHEAD ZONING BOARD OF APPEALS		A2.3	
DRAWING NAME:		JOB NUMBER:	
DATE:		SCALE:	
JUNE 2, 2021		AS INDICATED	
		ARCHITECTURAL	



01
1/8" = 1'-0"

PROPOSED RIGHT ELEVATION

PITMAN & WARDLEY
ASSOCIATES LLC
ARCHITECTURE & DESIGN
32 CHURCH STREET
SALEM, MASSACHUSETTS 01970
978-744-4392

BF DESIGN
BRIGITTE FORTIN, AIA
ARCHITECT
32 CHURCH STREET
SALEM, MASSACHUSETTS 01970
978-744-4392

HARRIS STREET SINGLE FAMILY RESIDENCE
111 HARRIS STREET
MARBLEHEAD, MA 01945

SUBMISSION: MARBLEHEAD ZONING BOARD OF APPEALS
DRAWING NAME: J09 NUMBER:
DATE: JUNE 2, 2021 SCALE: AS INDICATED

DRAWING NUMBER: **A2.4**
ARCHITECTURAL

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Of Appeals