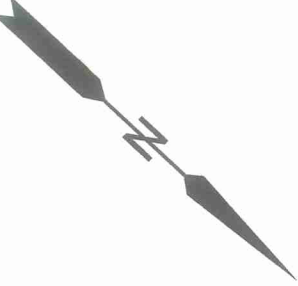


	REQUIRED	EXISTING	PROPOSED ADDITIONS
LOT AREA	7500	3200±	3200±
FRONTAGE	35	48.5'	48.5'
FRONT	N	4'±	6'±
SIDE	6	1'±	4'±
REAR	8	11'±	6'±
BLDG HEIGHT	35	29.0'±	30.0'±



Reviewed by
Building Department
For Zoning Board
Of Appeals

PROPERTY OF
LAWRENCE & VIRGINIA FIELD
SCALE 1" = 10' APRIL 12, 2022
NORTH SHORE SURVEY CORPORATION
14 BROWN ST. - SALEM, MA
(978) 744-4800

T.O. RIDGE
EL. +22'-11"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -1'-3"

BASEMENT
EL. -7'-1"



2 EXISTING REAR ELEVATION
6/28/22

EXISTING ASPHALT SHINGLE
ROOFING AND SKYLIGHT

EXISTING CEDAR CLAPBOARDS

EXISTING WOOD SHED

EXISTING WOOD DECK
AND STAIRS TO BE
REMOVED

T.O. RIDGE
EL. +22'-11"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -1'-3"

BASEMENT
EL. -7'-1"



3 EXISTING SIDE ELEVATION
6/28/22

T.O. RIDGE
EL. +22'-11"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -1'-3"

BASEMENT
EL. -7'-1"



1 EXISTING SIDE/ENTRY ELEVATION
6/28/22

EXISTING ASPHALT SHINGLE
ROOFING

EXISTING CEDAR CLAPBOARDS
TO BE REPLACED

EXISTING WOOD DECK AND
STAIRS TO BE REPLACED

EXISTING WOOD DECK AND
STAIRS TO BE REMOVED

T.O. RIDGE
EL. +22'-11"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. +0'-15"



4 EXISTING FRONT/STREET ELEVATION
6/28/22

0 1' 5' 15'

SCALE: 1/8" = 1'-0" @ 11 X 17 SHEET

Reviewed by
Building Department
For Zoning Board
Of Appeals

DATE	REVISION	BY
4/2/22	ISSUED FOR OWNER'S REVIEW	DBG
4/28/22	ISSUED FOR OHMC REVIEW	DBG
6/28/22	ISSUED FOR ZBA REVIEW	DBG

WINDOW/EXTERIOR DOOR SCHEDULE

WINDOWS ARE BASED ON ANDERSON WOODRIGHT, PELLA OR EQUAL, APPROX. SIZES, SOL. DEPENDING ON FINAL VENDOR SELECTION

- (A) 6/6 WOOD EXTERIOR, SOL. DH 2'-3" X 4'-0" ±
- (B) SIMPSON SOL. DOOR 2'-8" X 6'-8", SW. F-37512U
- (C) 6-LITE BASEMENT SASH, 2'-6" X 2'-0" ±
- (D) 6/6 WOOD EXTERIOR, SOL. DH 2'-6" X 4'-0" ±
- (E) CUSTOM BATTEN DOOR W/ VISION LITE, 3'-0" X 4'-8" ±
- (F) CUSTOM BATTEN DOOR W/ VISION LITE, 3'-0" X 6'-0" ±
- (G) 4 LITE AWNING WINDOW, WOOD EXTERIOR 2'-0" X 2'-0" ±

T.O. RIDGE
EL. +23'-5"

ATTIC LEVEL
EL. +15'-3"

NEW SHED ROOF
AT ADDITION

SECOND FLR.
EL. +7'-7"

NEW CEDAR CLAPBOARDS
AT REAR ADDITION

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -8"

BASEMENT
EL. -7'-1"

CUSTOM WOOD BATTEN
DOOR WITH VISION LITE

2 PROPOSED REAR ELEVATION
6/28/22

30'-0" ± LOW GRADE TO T.O. RIDGE

REPLACE CEDAR CLAPBOARDS
AT REAR AREAS

NEW FIBERGLASS
GUTTER

REVISED WOOD SHED

NEW LIFESPAN TRIM
AT PROPOSED ADDITION
WITH NEW CEDAR
CLAPBOARDS AT 4" TW.
OR MATCH COURSING
ADJACENT

CUSTOM WOOD BATTEN
DOOR WITH VISION LITE

REMOVE AND REPLACE
OR EXTEND OLD
SHED, MATCH WIDTH

3 PROPOSED SIDE ELEVATION
6/28/22

T.O. RIDGE
EL. +23'-5"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -8"

BASEMENT
EL. -7'-1"

T.O. RIDGE
EL. +23'-5"

ATTIC LEVEL
EL. +15'-3"

NEW DOOR ENTABLATURE
W/ FLUSH PILASTERS

SECOND FLR.
EL. +7'-7"

EXISTING DOOR AND
SIDELITES TO REMAIN

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -8"

BASEMENT
EL. -7'-1"

REVISED WOOD DECK

1 PROPOSED SIDE/ENTRY ELEVATION
6/28/22

REPLACE CEDAR CLAPBOARDS
AT REAR AREAS TO MATCH FRONT

NEW REAR ADDITION W/
ASPHALT SHINGLE ROOFING,
ARCHITECT SERIES

1 1/2" X 1 1/2" BALUSTERS @
4" O.C. WITH CEDAR TOP AND
BOTTOM RAILS

NEW WOOD DECK
AND STAIRS

1 x 3 VERTICAL CEDAR SLATS
SPACED @ 1/4"

4 EXISTING/PROPOSED STREET ELEVATION
6/28/22

T.O. RIDGE
EL. +23'-5"

ATTIC LEVEL
EL. +15'-3"

SECOND FLR.
EL. +7'-7"

1ST FLR.
EL. +0'-0"

KITCHEN
EL. -8"

0 1' 5' 15'
SCALE: 1/8" = 1'-0" @ 11 X 17 SHEET

Reviewed by
Building Department
For Zoning Board
Of Appeals

D. BRUCE GREENWALD
ARCHITECT
32 HIGH STREET
MARBLEHEAD, MA 01945

PROPOSED CONDITIONS ELEVATIONS

FIELD RESIDENCE RENOVATIONS

SCALE: AS NOTED DATE: 6/28/22 FILE NO: NEWLEVY

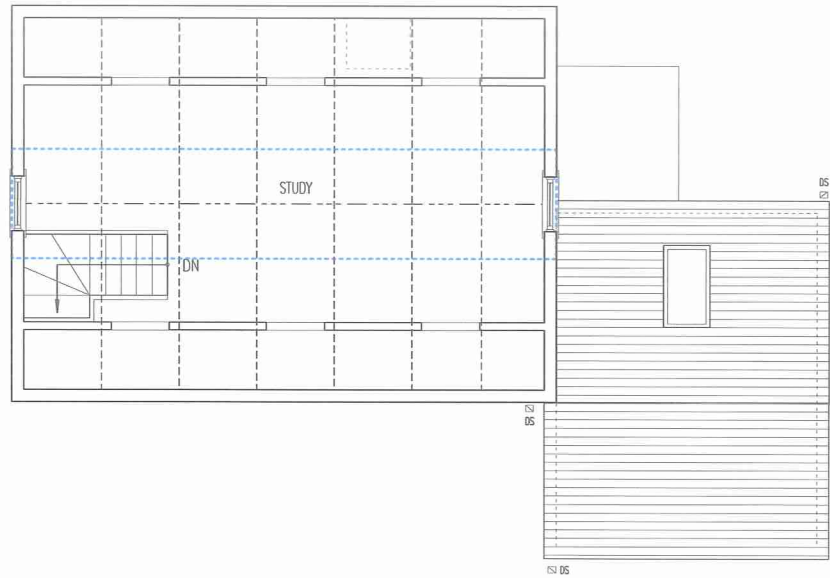
DATE	REVISION	BY
4/2/22	ISSUED FOR OWNER'S REVIEW	DBC
4/25/22	UPDATED FOR OWNER'S REVIEW	DBC
4/28/22	ISSUED FOR OHMDC REVIEW	DBC
6/28/22	ISSUED FOR ZBA REVIEW	DBC

FIELD RESIDENCE

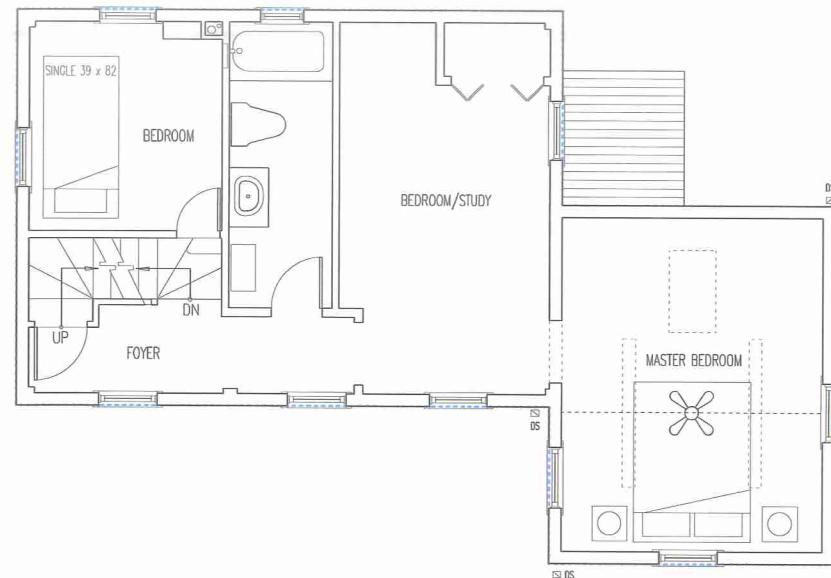
20 STACEY STREET
MARBLEHEAD, MA 01945

SHEET NO.

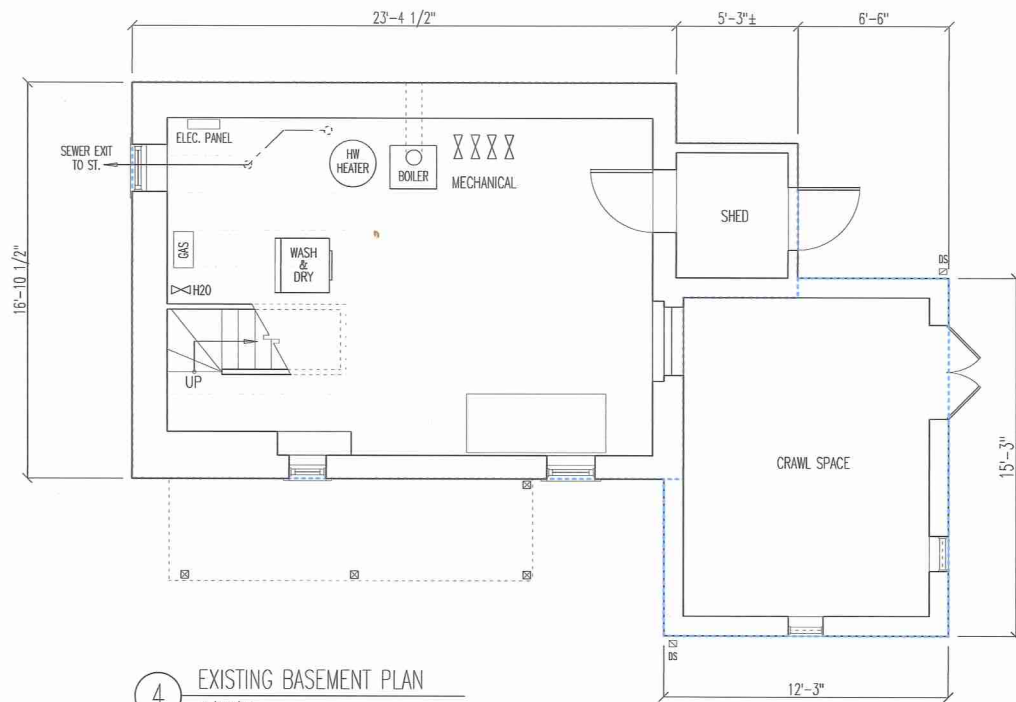
A-1



3 EXISTING ATTIC FLOOR PLAN
6/28/22

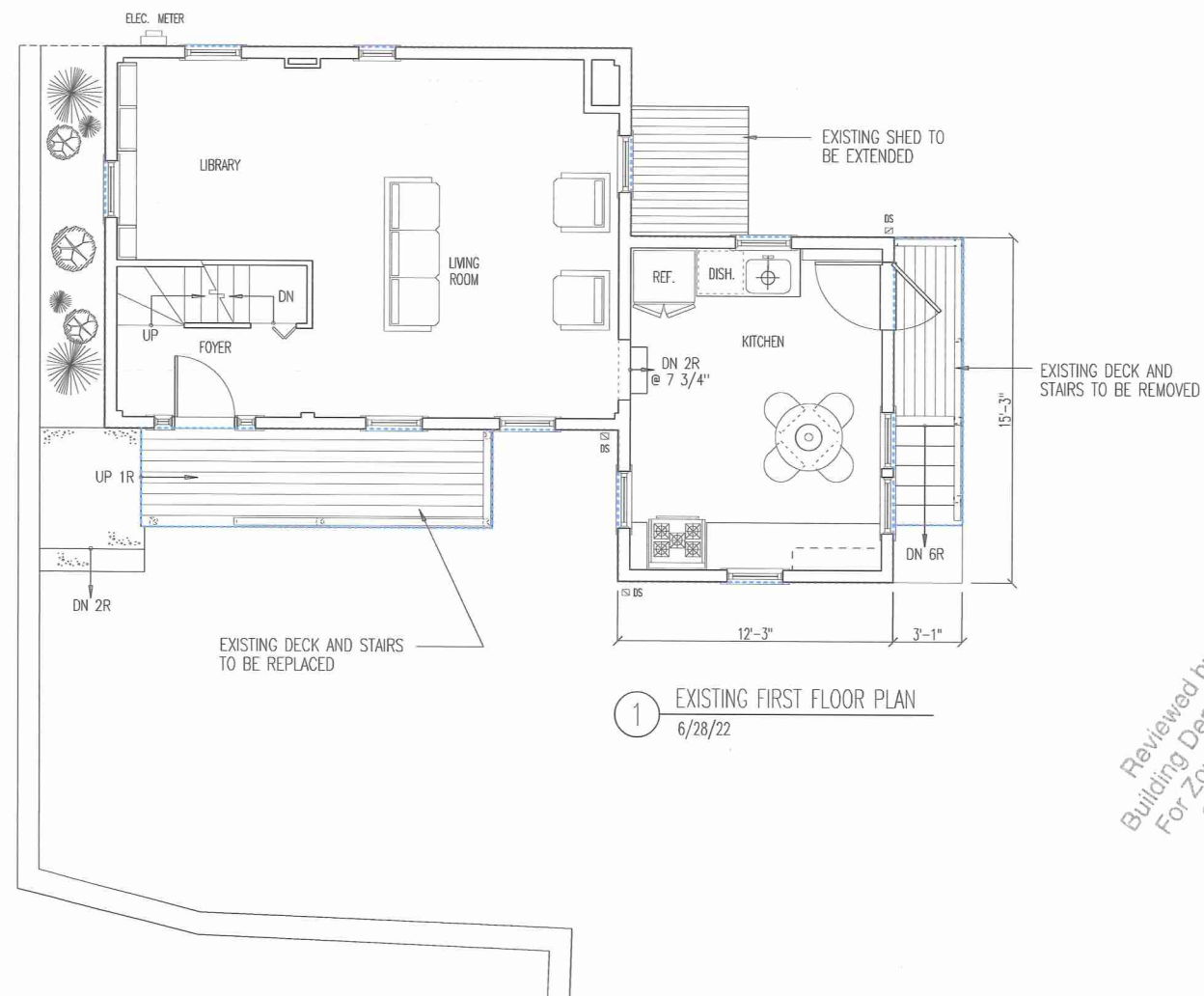


2 EXISTING 2ND FLOOR PLAN
6/28/22



4 EXISTING BASEMENT PLAN
6/28/22

0 1' 5' 15'
SCALE: 1/4" = 1'-0" @ 24X36 SHEET



1 EXISTING FIRST FLOOR PLAN
6/28/22

Reviewed by
Building Department
For Zoning Board
Of Appeals

KEY	DESCRIPTION
-----	ITEM TO BE REMOVED
=====	NEW WALLS
=====	EXISTING WALLS TO REMAIN

D. BRUCE GREENWALD
ARCHITECT
32 HIGH STREET
MARBLEHEAD, MA 01945

EXISTING CONDITIONS PLANS

FIELD RESIDENCE RENOVATIONS

SCALE: AS NOTED DATE: 6/28/22 FILE NO: EXPLANS

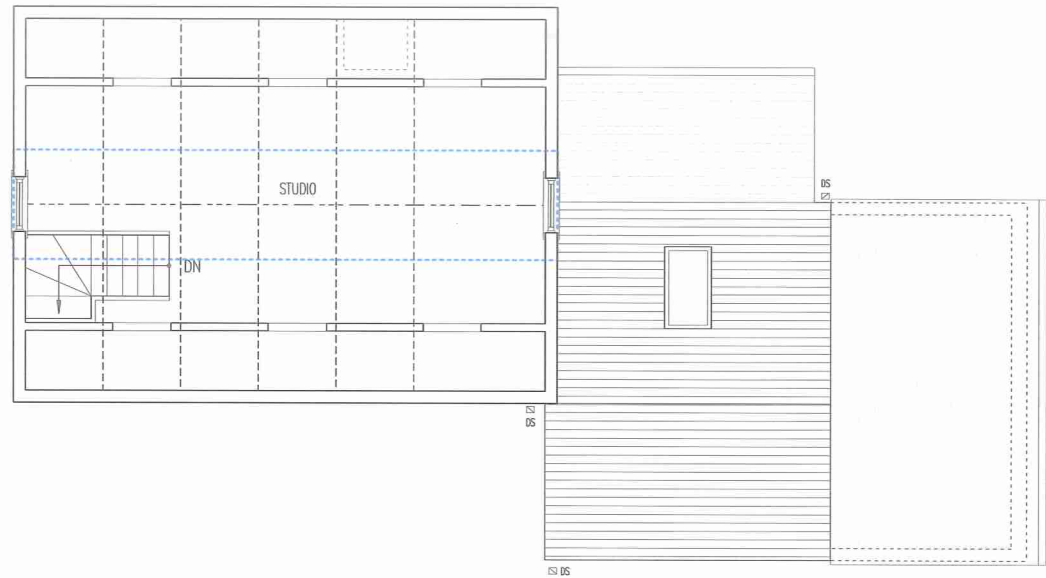
DATE	REVISION	BY
4/2/22	ISSUED FOR OWNER'S REVIEW	DBG
4/28/22	ISSUED FOR OHMDC REVIEW	DBG
6/28/22	ISSUED FOR ZBA REVIEW	DBG



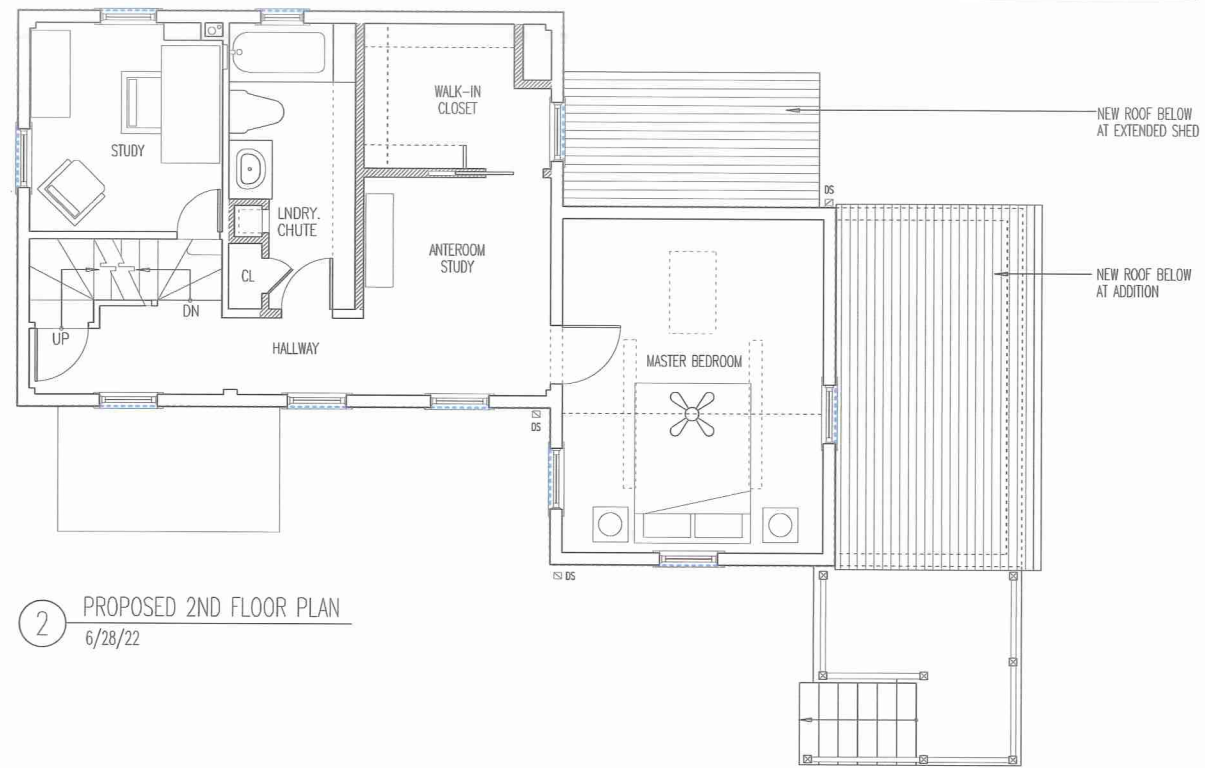
FIELD RESIDENCE
20 STACEY STREET
MARBLEHEAD, MA 01945

SHEET NO.

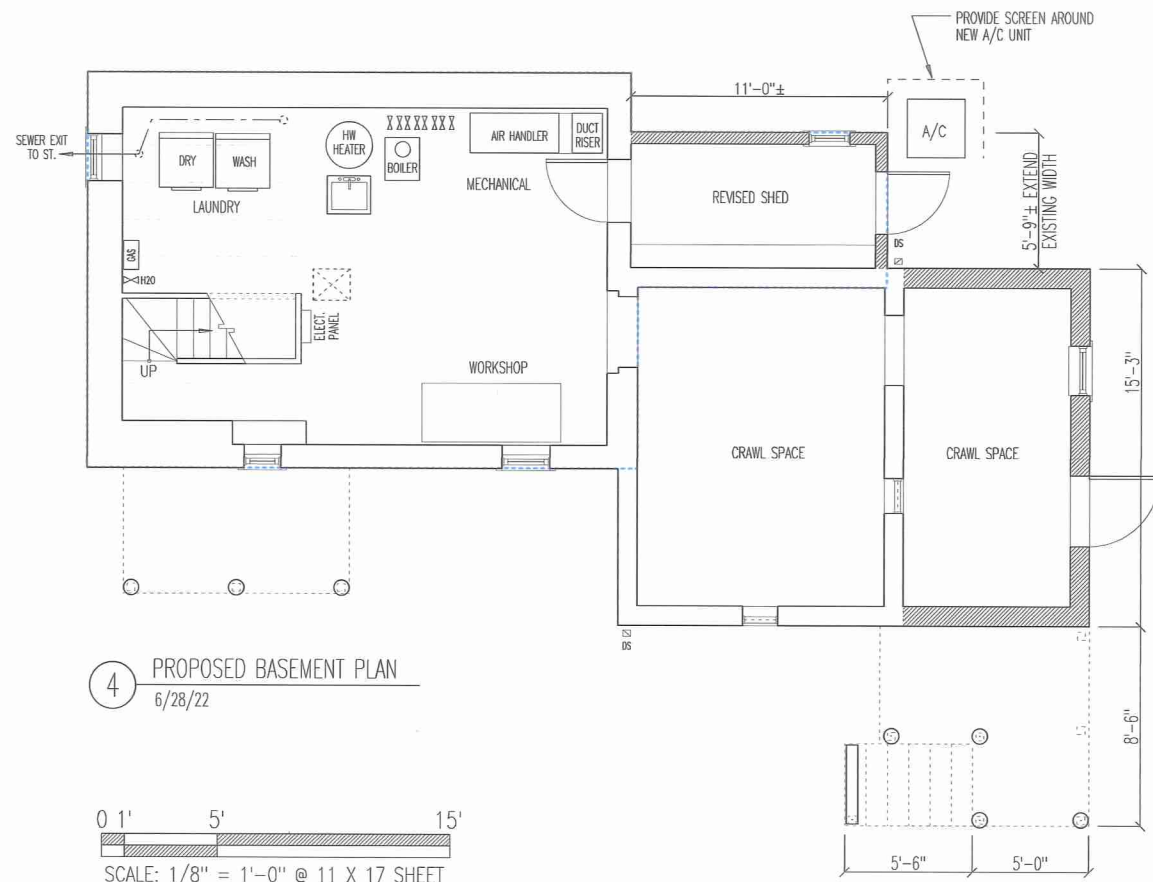
EX-2



3 PROPOSED ATTIC/ROOF PLAN
6/28/22

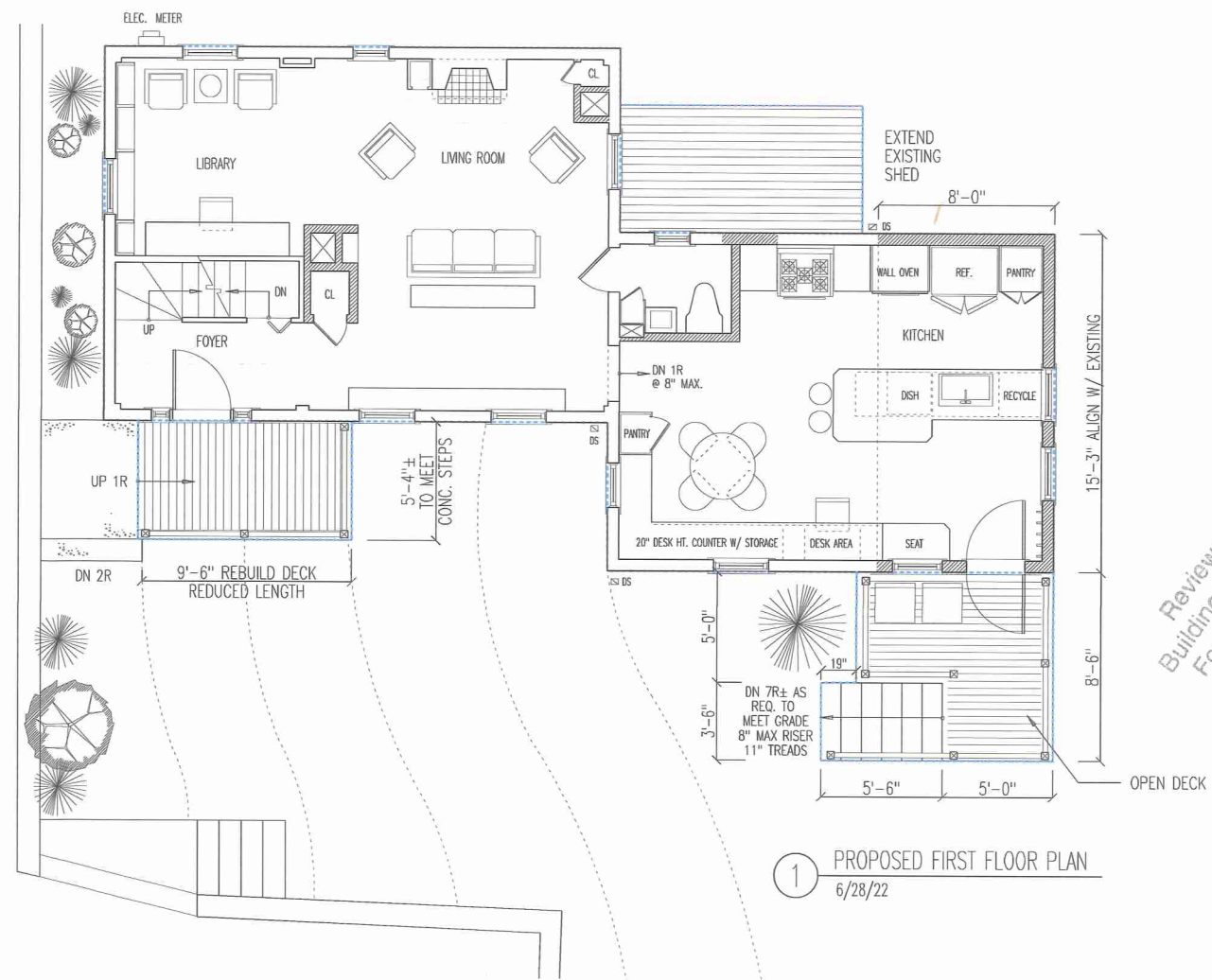


2 PROPOSED 2ND FLOOR PLAN
6/28/22



4 PROPOSED BASEMENT PLAN
6/28/22

0 1' 5' 15'
SCALE: 1/8" = 1'-0" @ 11 X 17 SHEET



1 PROPOSED FIRST FLOOR PLAN
6/28/22

KEY	DESCRIPTION
-----	ITEM TO BE REMOVED
=====	NEW WALLS
=====	EXISTING WALLS TO REMAIN

D. BRUCE GREENWALD
ARCHITECT
32 HIGH STREET
MARBLEHEAD, MA 01945

PROPOSED CONDITIONS PLANS

FIELD RESIDENCE RENOVATIONS

SCALE: AS NOTED DATE: 6/28/22 FILE NO: NEWPLANS

DATE	REVISION	BY
4/2/22	ISSUED FOR OWNER'S REVIEW	DBG
4/19/22	UPDATED FOR OWNER'S REVIEW	DBG
4/25/22	UPDATED FOR OWNER'S REVIEW	DBG
4/28/22	ISSUED FOR OHADC REVIEW	DBG
6/28/22	ISSUED FOR ZBA REVIEW	DBG



FIELD RESIDENCE

20 STACEY STREET
MARBLEHEAD, MA 01945

Reviewed by
Building Department
For Zoning Board
Of Appeals

SHEET NO.

A-2