



TOWN SEAL
tel: 781-631-1529

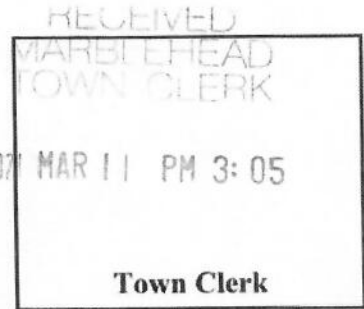
fax: 781-631-2617
Revision Date: 12-02-20

Town of Marblehead **ZONING BOARD OF APPEALS**

Mary A. Alley Municipal Building
7 Widger Road, Marblehead, MA 01945

ZBA APPLICATION

PAGE 1 of 3



Project Address 18 Canterbury Road
Assessor Map(s) 16 Parcel Number(s) 36

Reviewed by
Building Department
For Zoning Board
Of Appeals

OWNER INFORMATION

Signature Tina L. Rhodes date _____
Name (printed) Tina L. Rhodes
Address 18 Canterbury Road, Marblehead, MA 01945
Phone Numbers: home 781-504-6066 work Same
E-mail tinalrhodes@gmail.com fax _____

APPLICANT or REPRESENTATIVE INFORMATION (if different from owner)

Signature Paul M. Lynch date 3-5-21
Name (printed) Paul M. Lynch
Address Zero Spring Street, Marblehead, MA 01945
Phone Numbers: home _____ work 781-631-7808
E-mail lynch@marbleheadlaw.com fax _____

PROJECT DESCRIPTION & RELIEF REQUESTED (attach additional page if necessary)

Project includes new second floor dormer and roof modifications associated with new master bedroom renovation. Existing house side setback at left (south) side is 10.1'. Proposed second floor dormer side setback is 12.0'. Requesting relief from required side yard setback.

- Please schedule a Zoning / Application review with the Building Department by calling 781-631-2220.
- Obtain the Town Clerk's stamp and submit 12 copies of each of the following to the Town Engineer's Office:
 - the signed and stamped application (3 pages);
 - current survey plan (not older than 90 days) as prepared by a Registered Professional Land Surveyor;
 - the project design plans as required;
 - check for the applicable fee payable to the Town of Marblehead.
- Any relevant permit(s) that were previously issued must be available for review by the Board of Appeals at the scheduled hearing. (Section 3(D), Board of Zoning Appeals Rules & Regulations).

REQUIRED SIGNATURES

1. Building Commissioner (pages 1, 2 and 3) [Signature] 3-5-21
2. Town Clerk's stamp (upper right corner)

View Bylaws - (Chapter 200, Zoning) - online at: www.marblehead.org/

Page 2 of 3

Project Address 18 Canterbury Road **Map(s) / Parcel(s)** 16 / 36

B B1 BR CR SCR ECR GR SGR **SR** SSR ESR SESR HBR U SU

Yes X No (explain)

No X Yes _____ (explain)

Building Official  Date 3-5-2021

Town of Marblehead
ZBA-APPLICATION
 Page 3 of 3

Revision Date: 12-02-2020

Project Address 18 Canterbury Road

Map(s) / Parcel(s) 16 / 36

NET OPEN AREA (NOA)

Lot area = A

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EXISTING

PROPOSED

Area of features

footprint of accessory building(s)

footprint of building

footprint of deck(s), porch(es), step(s), bulkhead(s)

number of required parking spaces 2 x (9' x 18' per space)

area of pond(s), or tidal area(s) below MHW

other areas (explain) _____

Sum of features = B

Net Open Area (NOA) = (A - B)

GROSS FLOOR AREA (GFA)

accessory structure(s)

basement or cellar (area >5' in height)

1st floor (12' or less in height) NOTE: [for heights exceeding

2nd floor (12' or less in height) 12' see definition

3rd floor (12' or less in height) of STORY §200-7]

4th floor (12' or less in height)

attic (area >5' in height)

area under deck (if >5' in height)

roofed porch(es)

Gross Floor Area (GFA) = sum of the above areas

Proposed total change in GFA = (proposed GFA - existing GFA)

Percent change in GFA = (proposed total change in GFA ÷ existing GFA) x 100

Existing Open Area Ratio = (existing NOA ÷ existing GFA)

Proposed Open Area Ratio = (proposed NOA ÷ proposed GFA)

This worksheet applies 1. plan by/dated B Fortin Design dated 9/23/20

to the following plan(s): 2. plan by/dated BATCAM Land Survey / 2/22/21

3. plan by/dated _____

Building Official

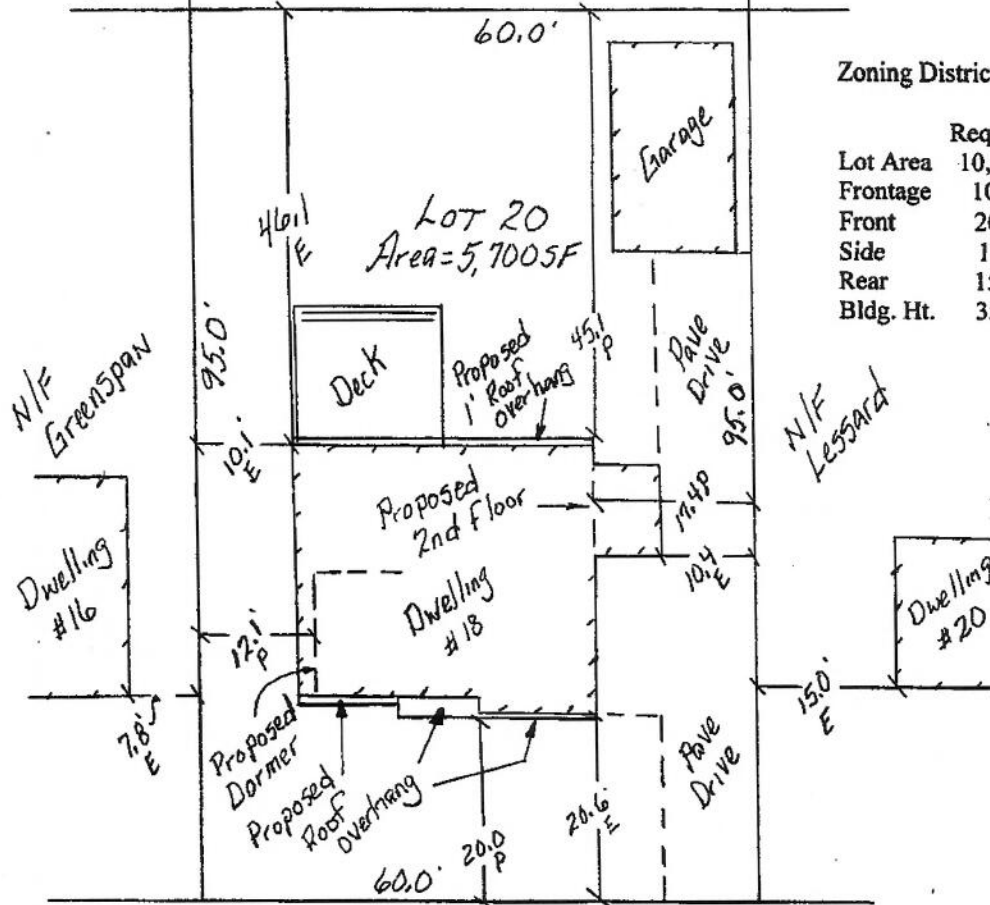
Date 3-5-2021

N/F
TostoN/F
Leard/SkeltonN/F
stone/Williams

PB62 Plan 33

Zoning District - Single Residence

	Required	Existing	Proposed
Lot Area	10,000	5,700	5,700
Frontage	100	60	60
Front	20	20.6	20.0 (roof O/H)
Side	15	10.1	10.1
Rear	15	46.1	45.1 (roof O/H)
Bldg. Ht.	35	20.2	23.0



CANTERBURY ROAD
(Public 40' Wide)

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For Zoning Board
Of Appeals

Notes: Utilities have not been surveyed
and are not shown. DIGSAFE
must be notified prior to excavation.
This plan created from an Instrument Survey.
Existing offsets (E) are to corner siding.
Offset (P) is showing proposed offset.

ASSESSORS:

Map 16 Lot 36

REFERENCES:

Plan Book 62 Plan 33

ZONE

SR

I CERTIFY THAT THE DWELLING EXISTS AS
SHOWN AND THE IMPROVEMENTS ARE TO
PROPOSED TO BE MADE AS SHOWN WITH
RESPECT TO THE LOT LINES.

2/28/21
Date Professional Land Surveyor

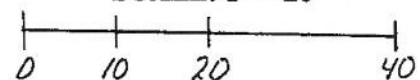
**SCALE: 1" = 20'**

EXHIBIT PLAN OF LAND
IN
MARBLEHEAD MA
18 CANTERBURY ROAD
PREPARED FOR
TINA RHODES

Scale 1" = 20'

BARTRAM LAND SURVEY
2 Fruit Street Byfield MA 01922

PRICING SET 9-23-20

BFortin
Design

SURVEYOR

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Building Department
For Zoning Board
Of Appeals**

CONTRACTOR

XX

xx

x



DRAWING LIST		ISSUE	REVISION
	T11 TITLE PAGE		1-1-20
	T12 TITLE PAGE		
Ea 1	EXISTING BASEMENT PLAN	1/A	
Ea 12	EXISTING FIRST FLOOR PLAN	1-21-20	
Ex 13	EXISTING SECOND FLOOR PLAN	1-21-20	
Ex 21	EXISTING ABOVE ELEVATION	1-21-20	
Ex 22	EXISTING LEFT SIDE ELEVATION	1-21-20	
Ex 23	EXISTING REAR ELEVATION	1-21-20	
Ex 24	EXISTING RIGHT SIDE ELEVATION	1-21-20	
BA 1	BASEMENT PLAN	1/A	
A1	FIRST FLOOR PLAN	1-21-20	
A13	SECOND FLOOR PLAN	1-21-20	
A14	ROOF PLAN	1-21-20	
A21	FRONT ELEVATION	1-21-20	
A22	LEFT SIDE ELEVATION	1-21-20	
A23	REAR ELEVATION	1-21-20	
A24	RIGHT SIDE ELEVATION	1-21-20	
A3	FOUND. SECTION	1-21-20	
B12	PLUMB. ELECTRICAL	1-21-20	
B13	SECOND PL. ELECTRICAL	1-21-20	

ZONING ANALYSIS		
	EXISTING	PROPOSED
ZONE: X		
MIN. LOT AREA = X SQ	X	X
MIN. LOT FRONTAGE = X Ft	X	X
MIN. SETBACKS:		
FRONT = X FEET.	X	X
SIDE = X FEET	X	X
REAR = N/A FEET	X	X
MAX. BUILDING HEIGHT: 35 FT	X	X

	EXIST	PROPOSED
BASEMENT	X	X
FIRST FLOOR	X	X
CARAGE	X	X
TOTAL	XX	XX

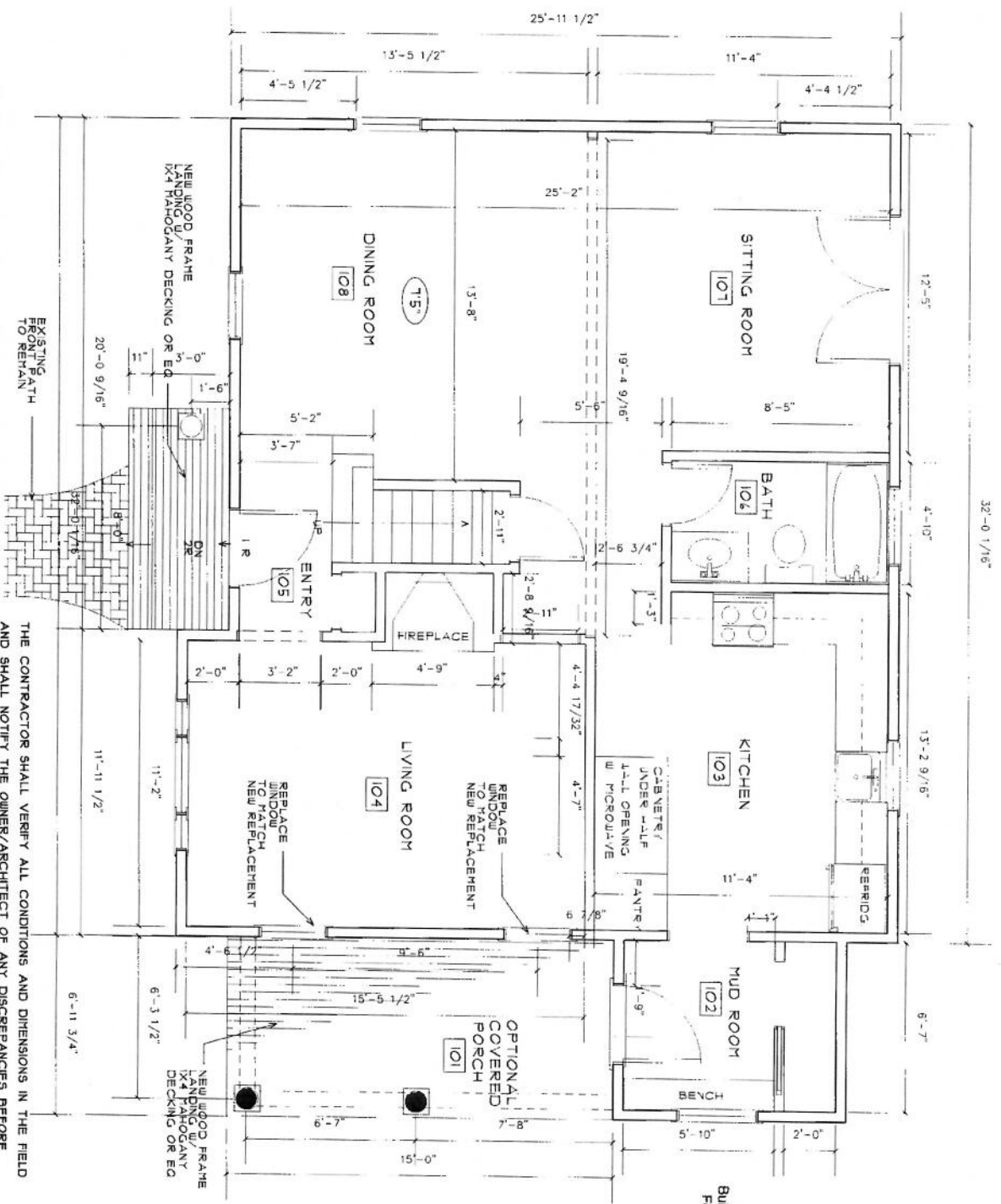
COVER SHEET
RHODES RESIDENCE
18 CANTERBURY ROAD, MARBLEHEAD, MA

T1.1

Carrying Number

NEW WALLS
 DEMO

PROPOSED FIRST FLOOR
 SCALE: 1/4" = 1'-0"
 REV 9-23-20



THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE OWNER/ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
 SEE SPECIFICATIONS AND SCHEDULES FOR SCOPE OF WORK DESCRIPTION

B. Fortin Designer 15 South Street, Suite 201 Boston, MA 02111 Tel: 617.452.1000 Fax: 617.452.1001	Reviewed by Building Department For Zoning Board Of Appeals	PROPOSED FIRST FLOOR RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Date: 09-23-20 Drawn by: B. Fortin Rev: 09-23-20
		Drawing Number A12		



SCALE: 1/4" = 1'-0"

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE OWNER/ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.

SEE SPECIFICATIONS AND SCHEDULES FOR SCOPE OF WORK DESCRIPTION

Drawing Number Ex 1.2	NORTH ARROW 	<p>EXISTING FIRST FLOOR</p> <p>RHODES RESIDENCE</p> <p>18 Canterbury Road, Marblehead, MA</p>	Design: Date: Title: Scale:
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NEW WALLS
DEMO

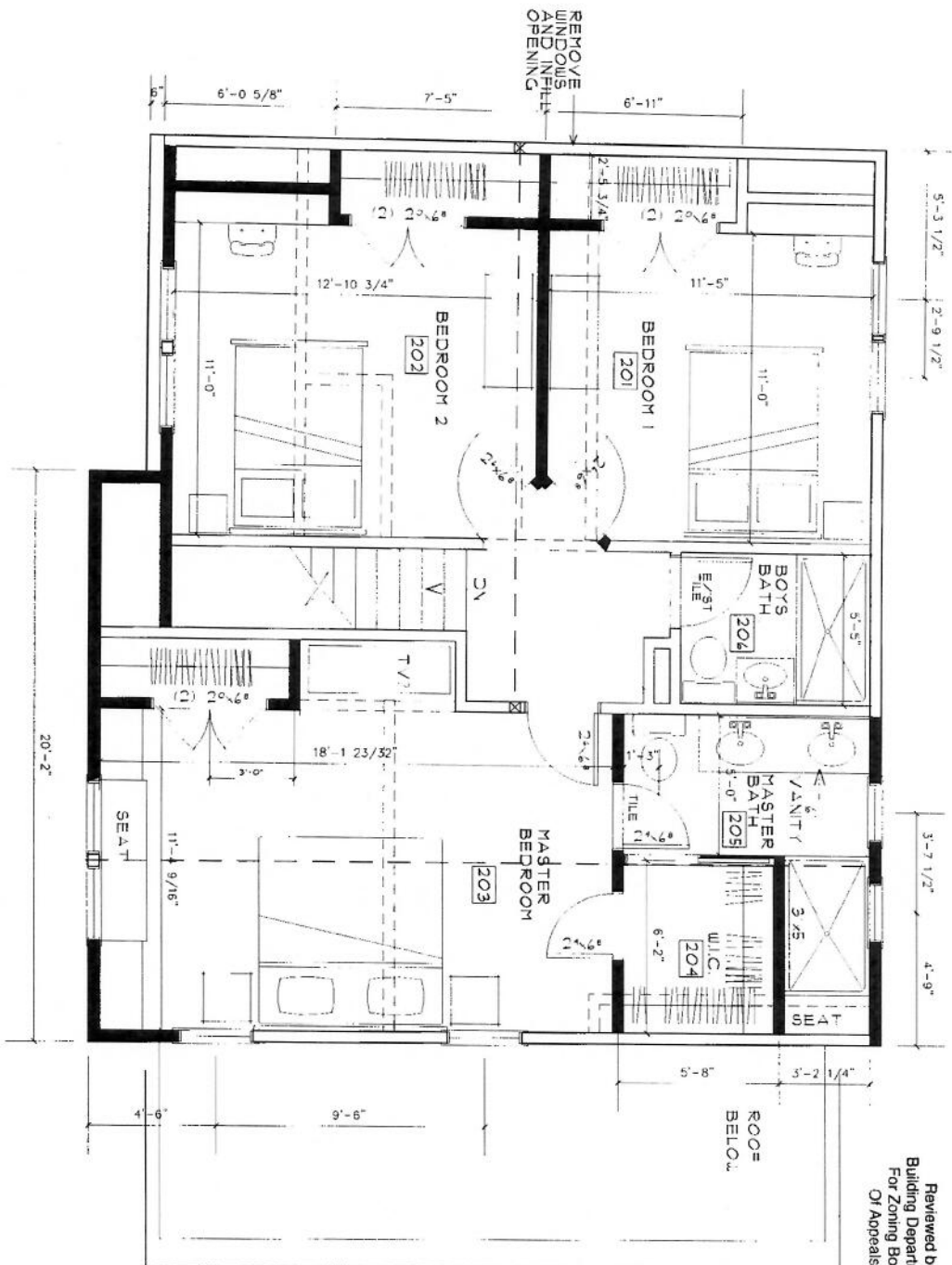
PROPOSED SECOND FLOOR

SCALE: 1/4" = 1'-0"

REV 9-23-20

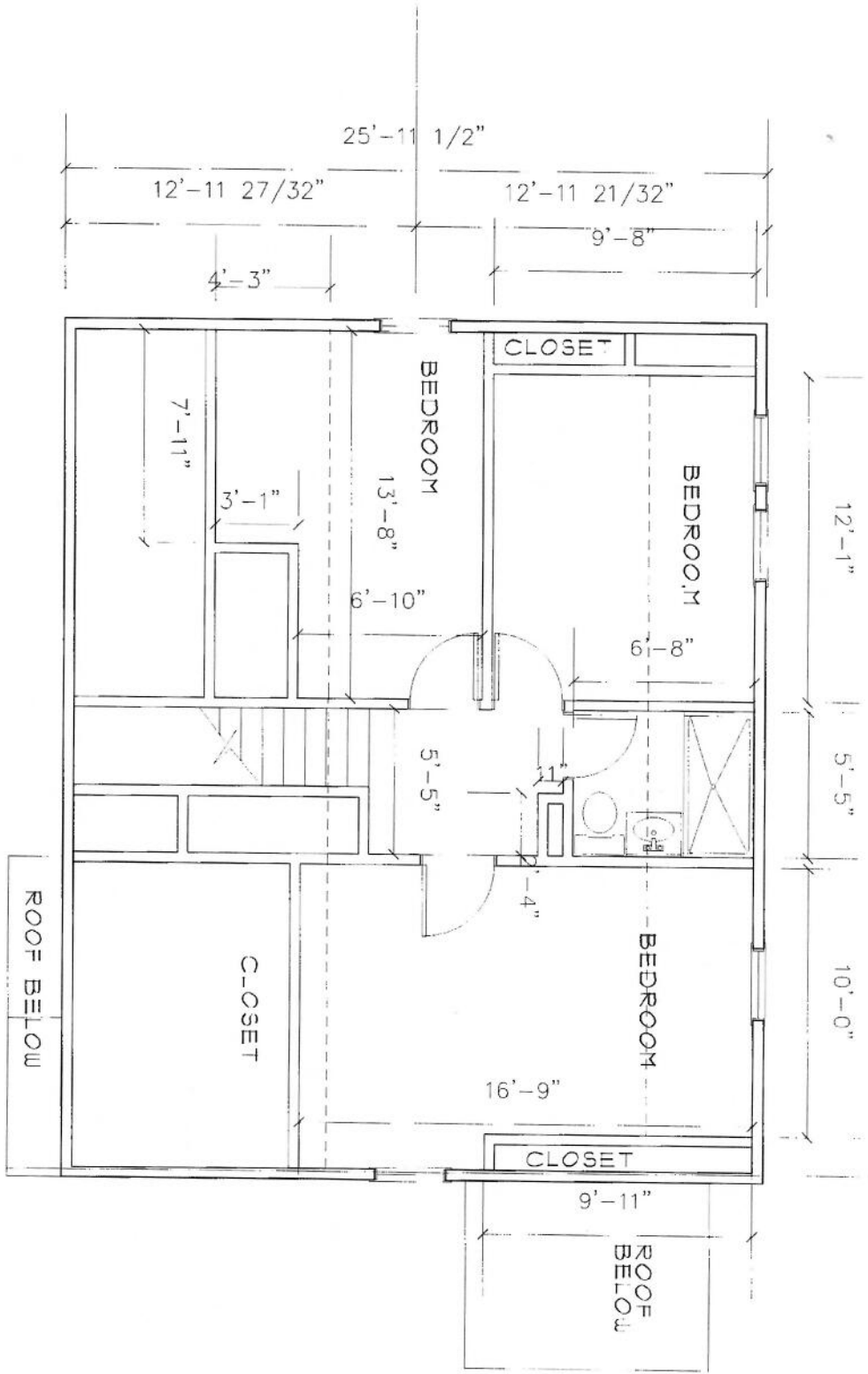
THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE OWNER/ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.

SEE SPECIFICATIONS AND SCHEDULES FOR SCOPE OF WORK DESCRIPTION



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B. Fortin Designer 110 Main Street, Suite 200 Marblehead, MA 01947 Tel: 781.326.1111	PROPOSED SECOND FLOOR RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Date: 9-23-20 Drawn by: J. Fortin P. Fortin, P.E.
Drawing No. A13			



EXISTING SECOND FLOOR

SCALE: 1/4" = 1'-0"

rev 1-14-20

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE OWNER/ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
SEE SPECIFICATIONS AND SCHEDULES FOR SCOPE OF WORK DESCRIPTION

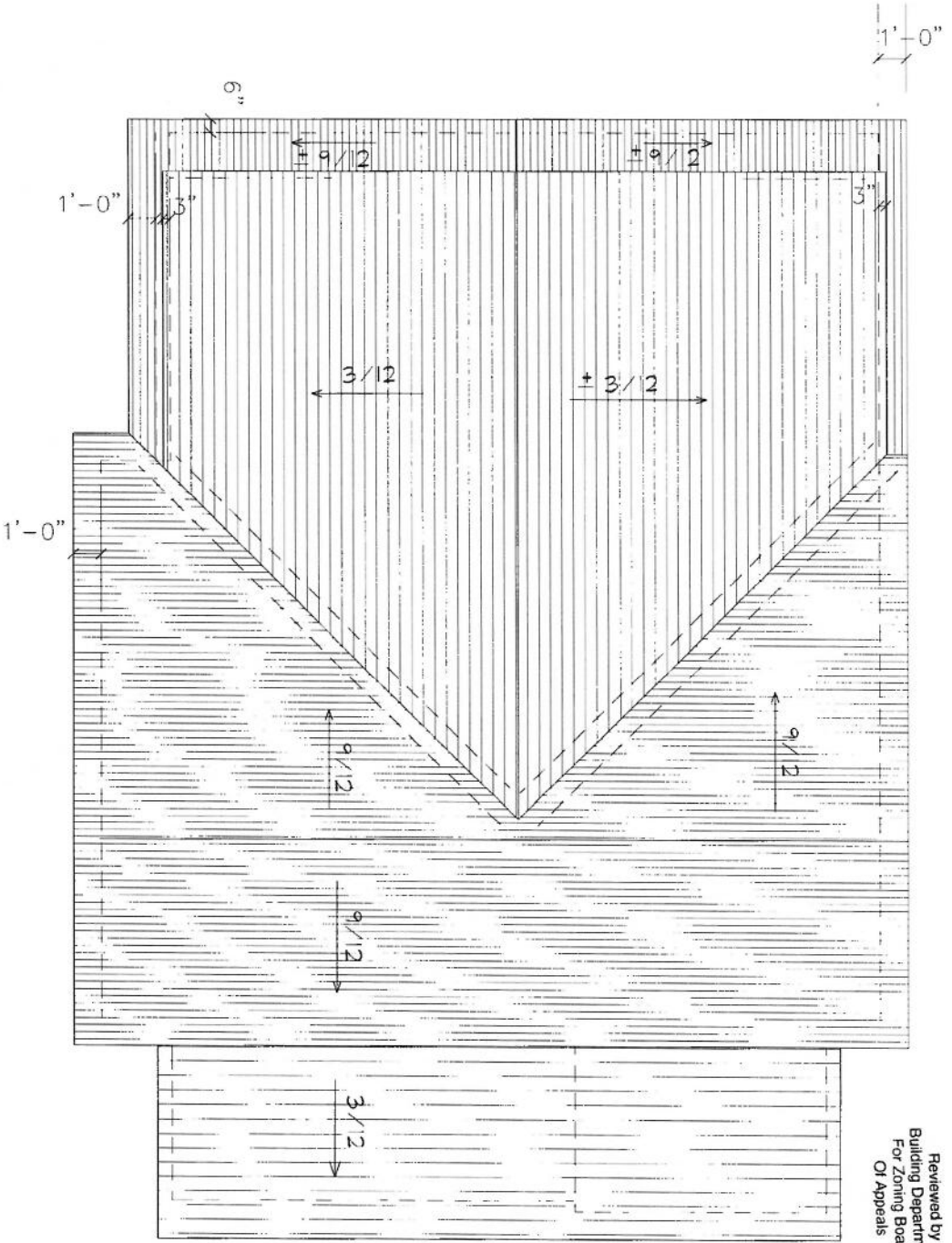
Reviewed by
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For Zoning Board
Of Appeals

BFortin Designer <small>100 State Street, Suite 200 Boston, MA 02109 Tel: 617.552.1234</small>	<p>EXISTING SECOND FLOOR</p> <p>RHODES RESIDENCE</p> <p>18 Canterbury Road, Marblehead, MA</p>		<p>NOT FOR CONSTRUCTION</p> <p>Drawn: [blank] Date: [blank] Check By: [blank] For Issue: [blank]</p>	<p>Drawing Number</p> <p>Ex 1.3</p>
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NEW WALLS
 DEMO

PROPOSED ROOF PLAN
 SCALE: 1/4" = 1'-0"
 REV 9-23-20

THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD AND SHALL NOTIFY THE OWNER/ARCHITECT OF ANY DISCREPANCIES BEFORE STARTING THE WORK.
 SEE SPECIFICATIONS AND SCHEDULES FOR SCOPE OF WORK DESCRIPTION

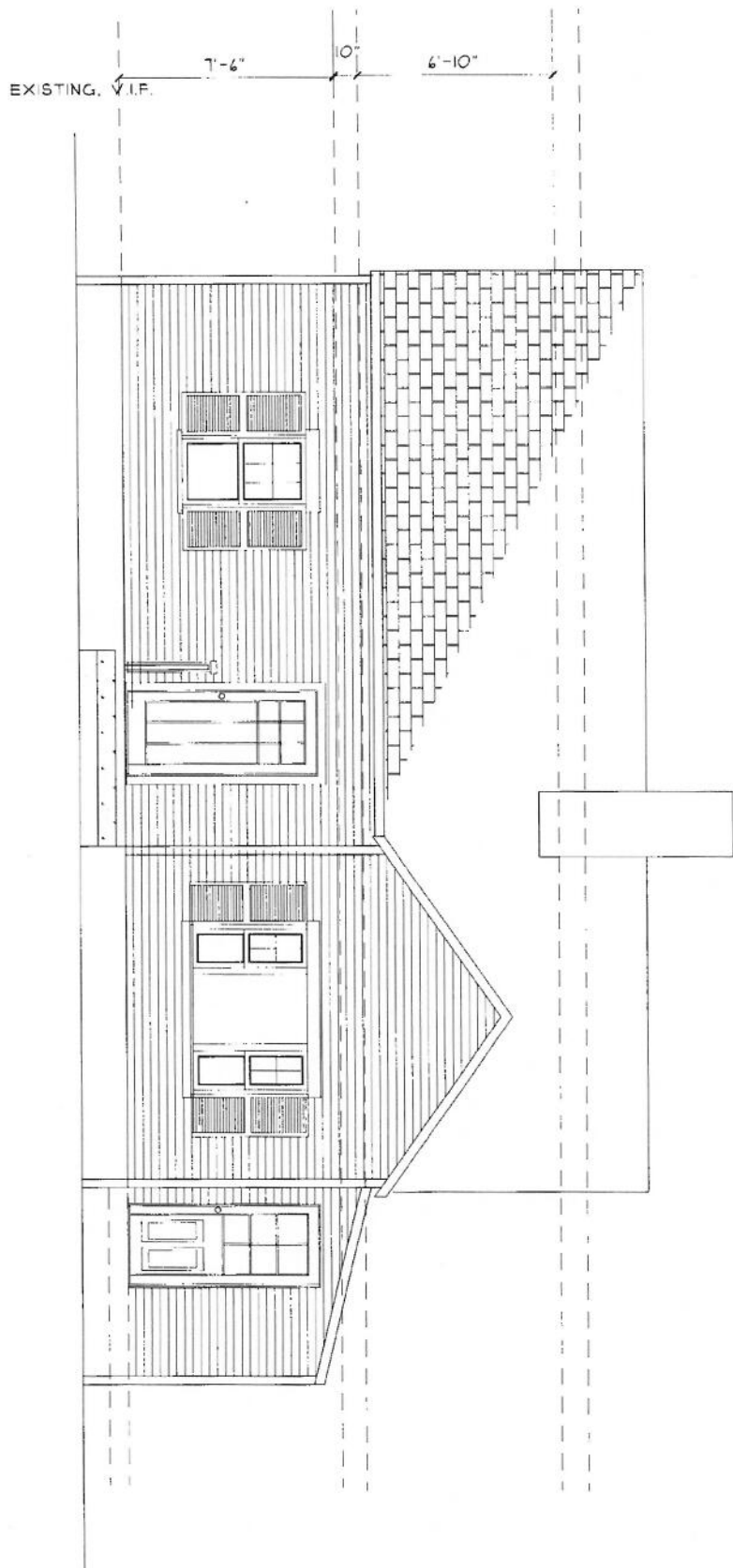


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BFortin Design 10 South Street, Suite 200 Boston, MA 02111 Tel: 617.552.1111 Fax: 617.552.1112	PROPOSED ROOF PLAN RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA			NOT FOR CONSTRUCTION Date: 9-23-20 Drawn by: [Signature] Project: [Blank]
	Drawing Number: A1.4			

BFortin
Design •
250 Madison Avenue, Suite 2000
New York, NY 10017
Tel: 212-691-1000

[illegible]



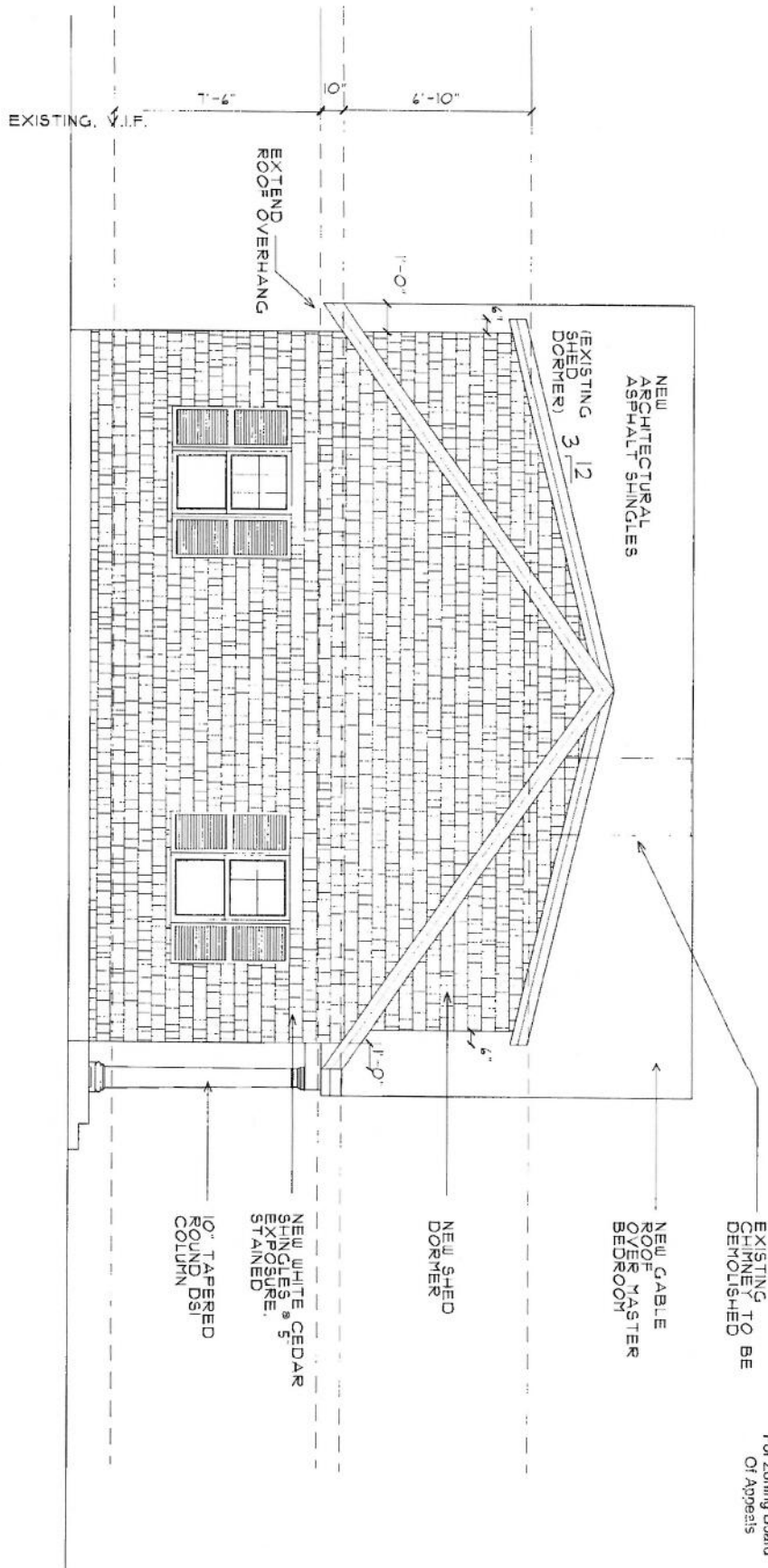
EXISTING FRONT ELEVATION

SCALE: 1/4" = 1'-0"

A

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For Zoning Board
Of Appeals

BFortin Design 11 South Street, Suite 203 Portland, ME 04101 Tel: 207.761.1234	Reviewed by Building Department For Zoning Board Of Appeals	EXISTING FRONT ELEVATION RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA	NOT FOR CONSTRUCTION No Date By	Drawing Number Ex 2.1
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EXISTING TO BE DEMOLISHED

NEW CABLE OVER MASTER BEDROOM

NEW SHED DORMER

NEW WHITE CEDAR EXPOSURE

10' TAPERED ROUND DSI COLUMN

Reviewed by
Building Department
For Zoning Board
Of Appeals

B

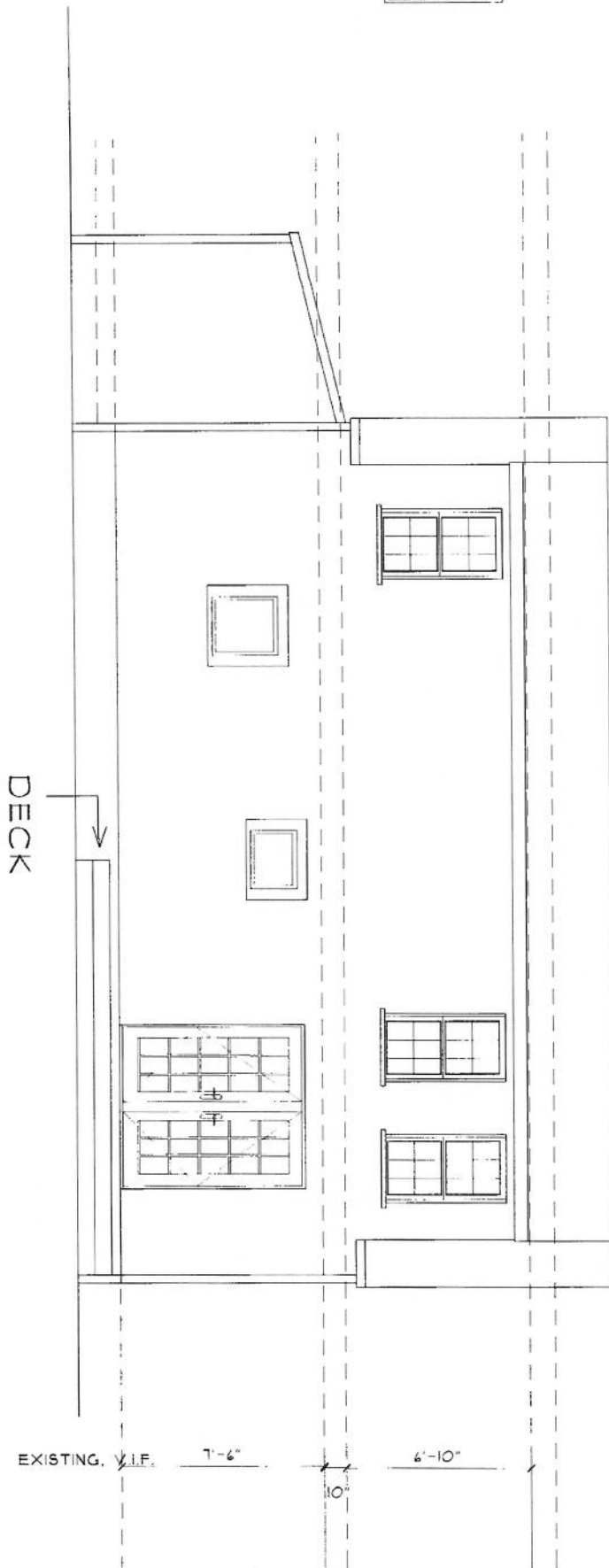
PROPOSED LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REV 9-23-20

BFortin Design 100 North Street, Suite 200 Boston, MA 02110 Tel: 617.552.1234 Fax: 617.552.1235 Email: info@bfortin.com	<p>PROPOSED LEFT SIDE ELEVATION RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA</p>	<p>NOT FOR CONSTRUCTION Date: 9-23-20 Drawn: J. Fortin Project: Rhodes Residence</p>	<p>Drawing Number A.2.2</p>
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Of Appeals



EXISTING REAR ELEVATION

SCALE: 1/4" = 1'-0"

C

BFortin
Design
300 Main Street, Suite 207
Marblehead, MA 01947
Tel: 781.326.1800

EXISTING REAR ELEVATION
RHODES RESIDENCE
18 Canterbury Road, Marblehead, MA

NOT FOR CONSTRUCTION

Date: 11-21-20
By: BFortin
For: Rhodes Residence

Sheet No. 12
Total Sheets 12
Drawing Number

Ex 2.3

Reviewed by
Building Department
For Zoning Board
Of Appeals



PROPOSED RIGHT SIDE ELEVATION

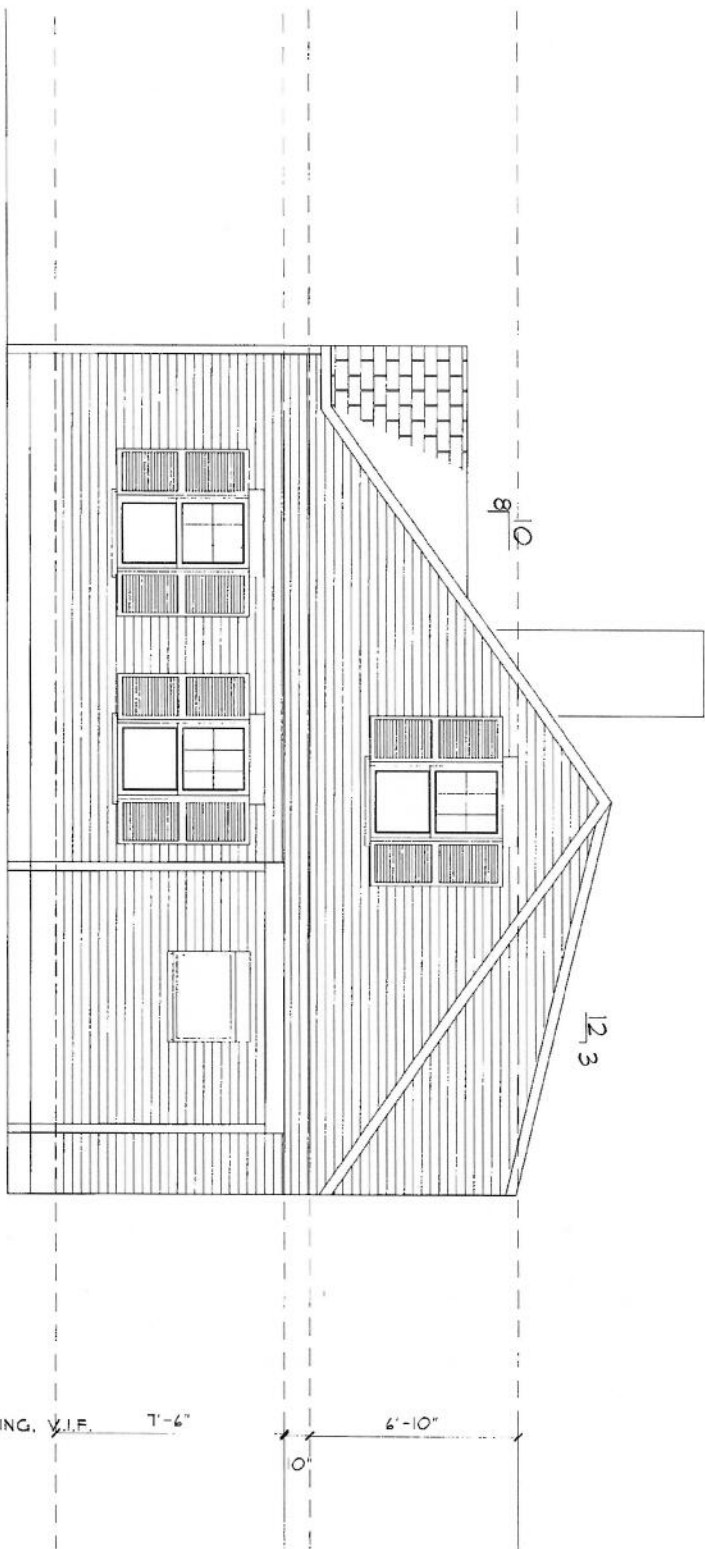
SCALE: 1/4" = 1'-0"

REV 8-29-20

D

BFortin ARCHITECT 111 SOUTH STREET, SUITE 207 MARBLEHEAD, MA 01947 617-254-1111	Reviewed by Building Department For Zoning Board Of Appeals	<p>PROPOSED RIGHT SIDE ELEVATION</p> <p>RHODES RESIDENCE</p> <p>18 Canterbury Road, Marblehead, MA</p>	<p>NOT FOR CONSTRUCTION</p> <p>DATE: 8-29-20</p> <p>BY: [Signature]</p> <p>FOR: [Signature]</p> <p>SCALE: 1/4" = 1'-0"</p> <p>REV 8-29-20</p> <p>A2.4</p>
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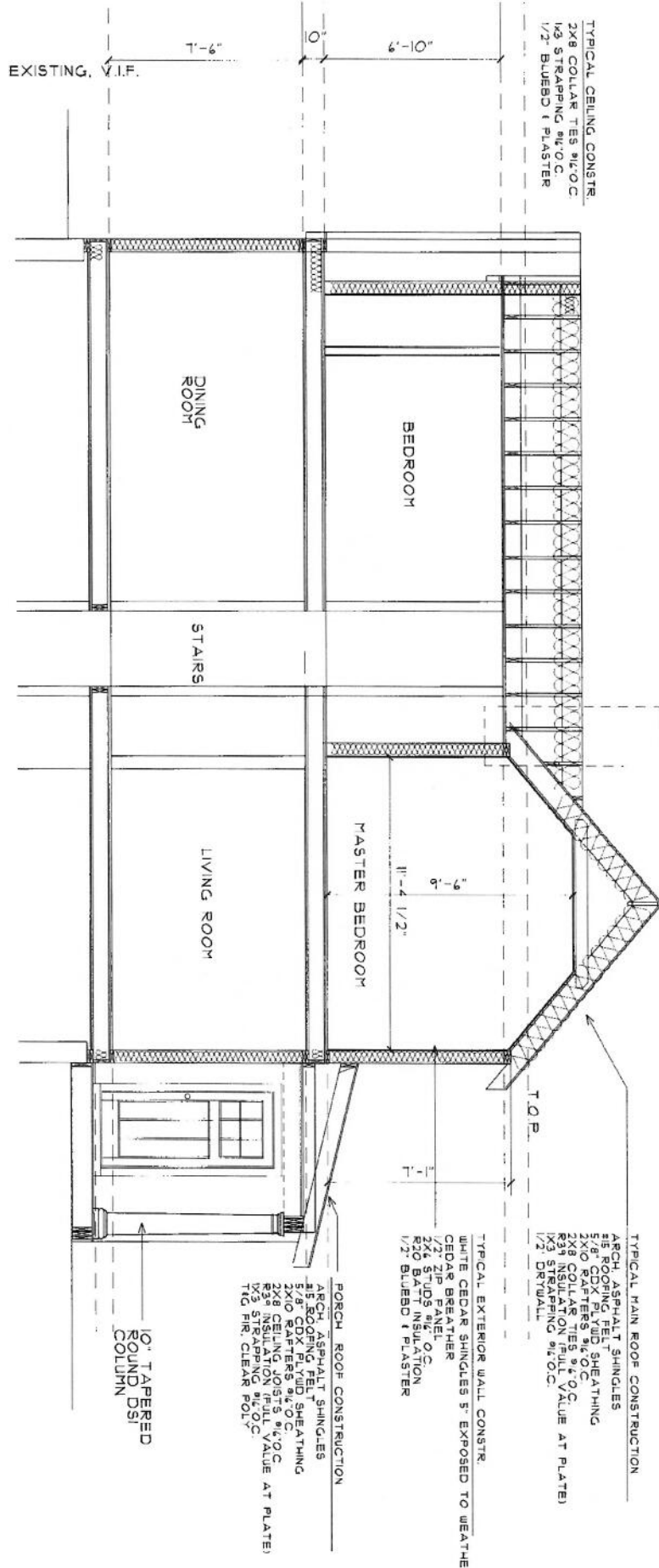
Reviewed by
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EXISTING RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

BFortin Design 22 North Street, Suite 202 Marblehead, MA 01947 781.631.3885	EXISTING RIGHT SIDE ELEVATION RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Date: 1-21-20 By: [Signature] For: [Signature]
	Drawing Number Ex 2.4	Revision 1. [Signature]	Date 1-21-20



BUILDING SECTION

SCALE: 1/4" = 1'-0"

REV 8-29-20

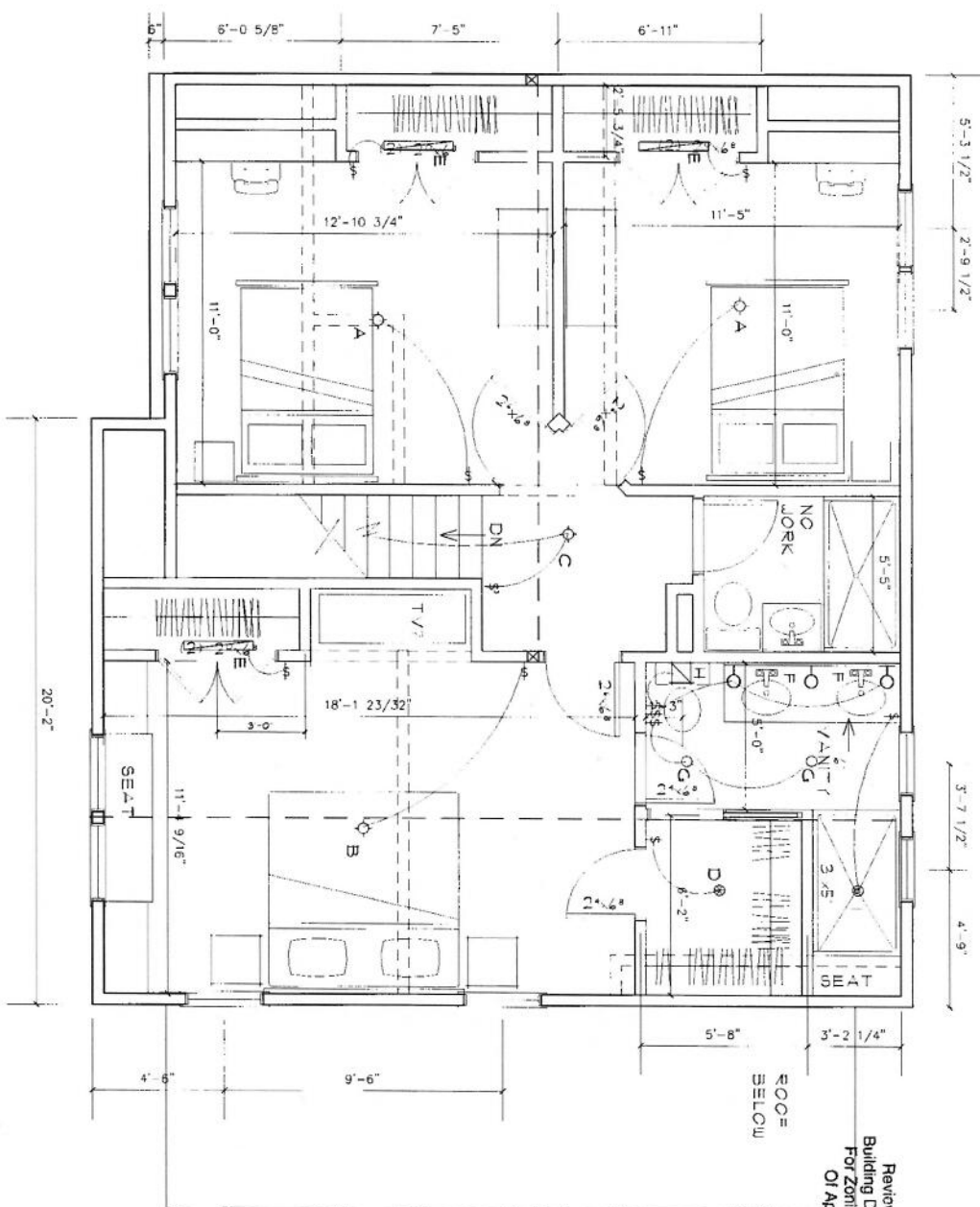
A

PRELIMINARY

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For Zoning Board
Of Appeals

BFortin 25 State Street, Suite 200 Marblehead, MA 01947 Tel: 781.631.1100 Fax: 781.631.1101	PROPOSED BUILDING SECTION RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Date: 08-29-20 Drawn by: JFJ Check by: JFJ P&T Date: 08-29-20
	Drawing Number: A 3.1		

ELECTRICAL LEGEND	
\$	SINGLE POLE SWITCH
\$	3 WAY SWITCH
\$	DIMMER SWITCH
\$	3 WAY SWITCH WITH DIMMER
\$	KITCHEN DISPOSAL SWITCH
\$	DUPLEX OUTLET
\$	QUADRAPLEX OUTLET
\$	APPLIANCE OUTLET
\$	TELEPHONE/CATS
\$	CABLE TELEVISION
\$	RECESSED WALL FIXTURE
\$	RECESSED WALL W/ASHER
\$	PENDANT LIGHT FIXTURE
\$	WALL SCONCE LIGHT FIXTURE
\$	SURFACE MOUNTED LIGHT FIXTURE
\$	WET LOCATION CEILING FIXTURE
\$	RECESSED COVE LIGHTING
\$	UNDERCABINET L.V. LIGHTS
\$	SMOKE/CO DETECTOR, HARD WIRED
\$	LED STRIP
\$	TOILET EXHAUST FANS



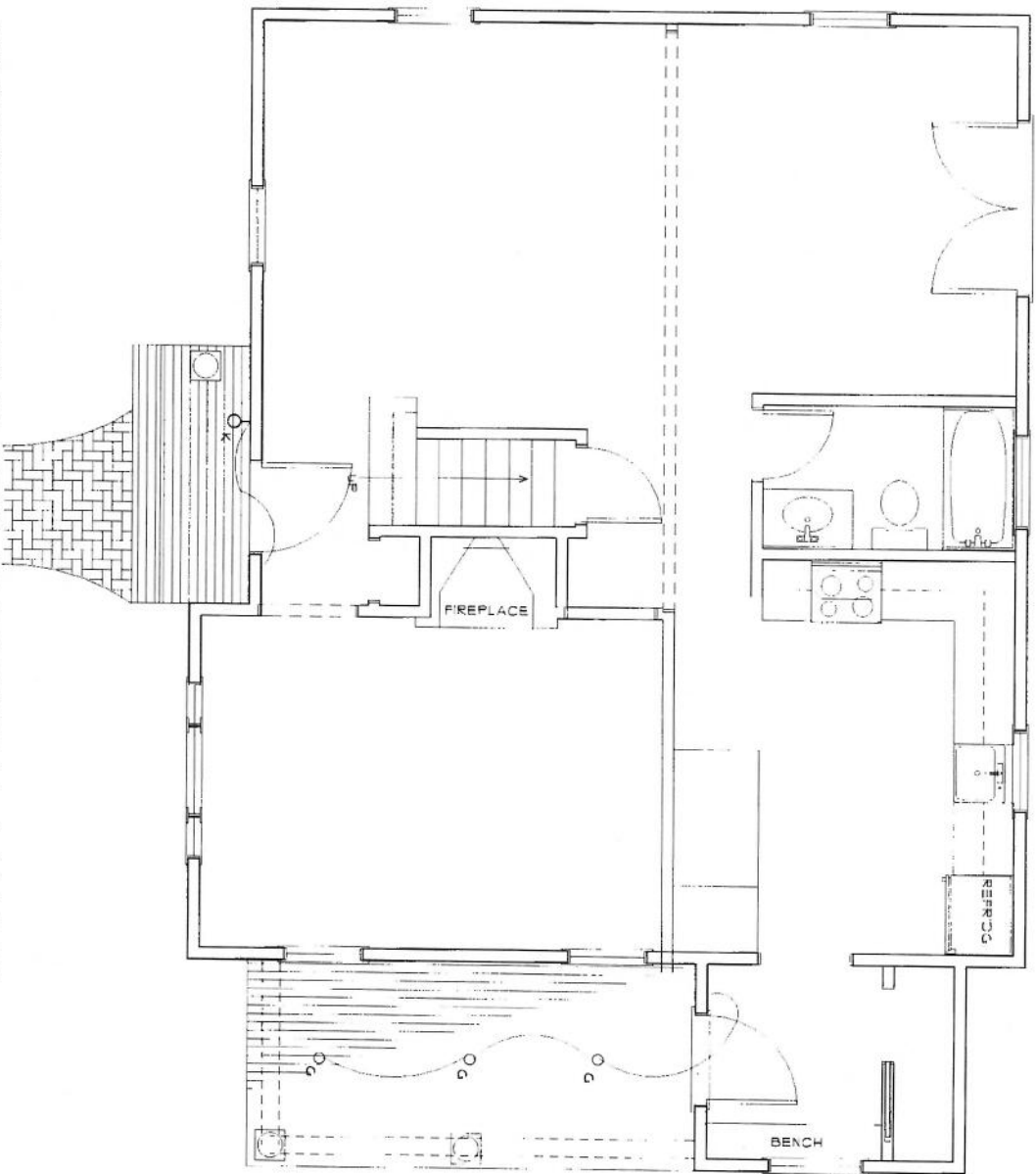
PROPOSED SECOND FLOOR ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

REV 9-23-20

B.Fortin Designer 100 State Street, Suite 100 Boston, MA 02109 Tel: 617-552-1234	PROPOSED SECOND FLOOR ELECTRICAL RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Date: 9-23-20 Rev: 01 Rev: 02 Rev: 03	Drawing Number E1.3
	Reviewed by Building Department For Zoning Board Of Appeals			

ELECTRICAL FIXTURE LEGEND	
\$	SINGLE POLE SWITCH
\$1	3 WAY SWITCH
\$2	DINER SWITCH
\$3	3 WAY SWITCH WITH DINER
\$4	KITCHEN DISPOSAL SWITCH
\$5	DUPLEX OUTLET
\$6	QUADRAPLEX OUTLET
\$7	APPLANCE OUTLET
\$8	TELEPHONE/CATS
\$9	CABLE TELEVISION
\$10	RECESSED LIGHT FIXTURE
\$11	RECESSED WALL WASHER
\$12	PENDANT LIGHT FIXTURE
\$13	WALL SCONCE LIGHT FIXTURE
\$14	SURFACE MOUNTED LIGHT FIXTURE
\$15	WET LOCATION CEILING FIXTURE
\$16	RECESSED COVE LIGHTING
\$17	UNDERCABINET L.V. LIGHTS
\$18	SHOKE/CO DETECTOR, HARD WIRED
\$19	LED STRIP
\$20	TOILET EXHAUST FANS



PROPOSED FIRST FLOOR ELECTRICAL LAYOUT

SCALE: 1/4" = 1'-0"

REV 9-23-20

BFortin Electrical 100 Main Street 01901 508-461-1111 www.bfortin.com		Reviewed by Building Department For Zoning Board Of Appeals		PROPOSED FIRST FLOOR ELECTRICAL RHODES RESIDENCE 18 Canterbury Road, Marblehead, MA		NOT FOR CONSTRUCTION Scale: 1/4" = 1'-0" Date: 9-23-20 Rev: 9-23-20		Drawing Number E.12	
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