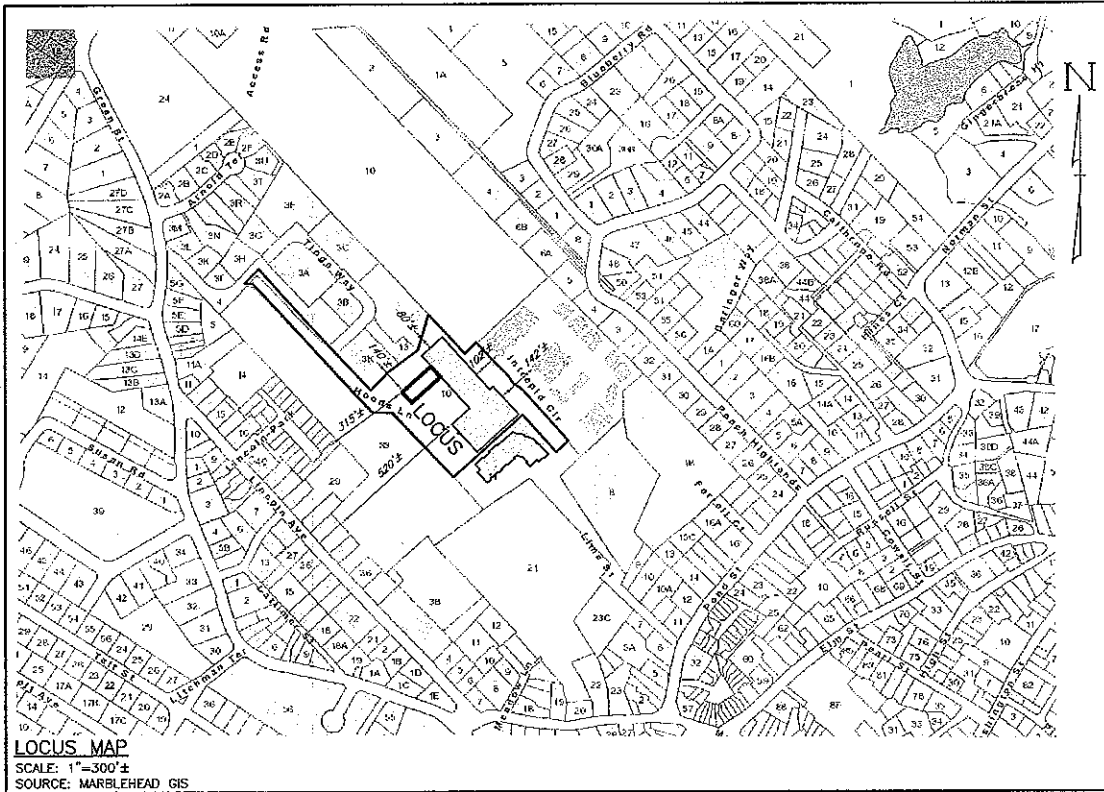
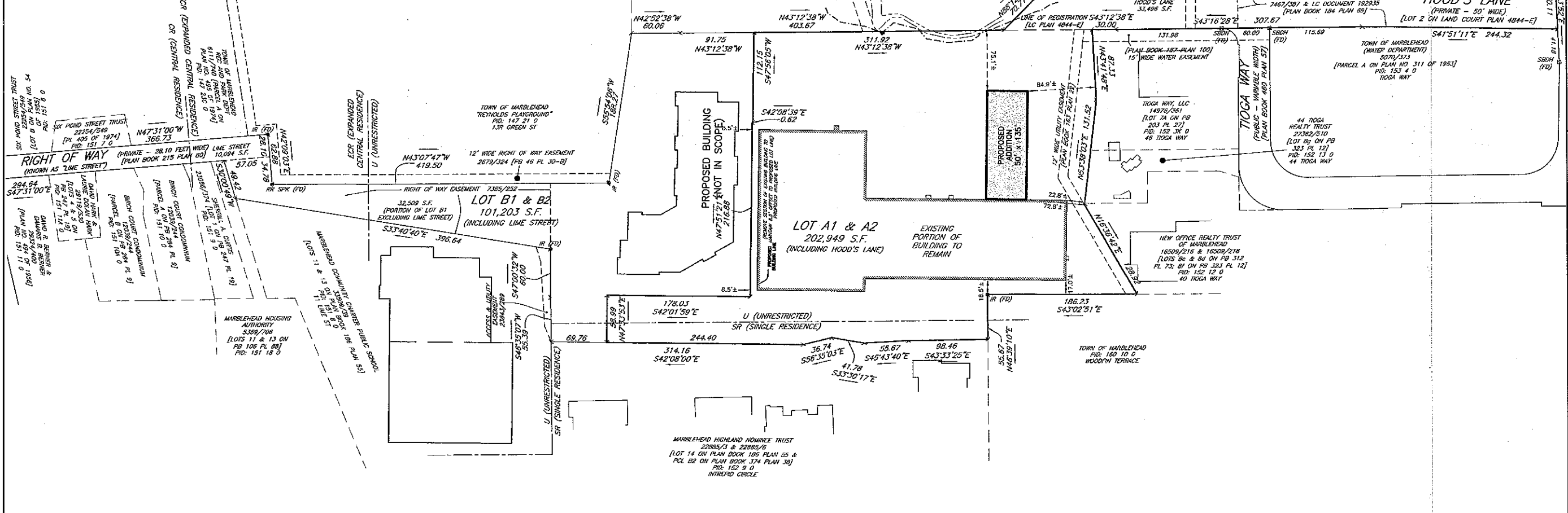




LOCUS MAP
SCALE: 1"=500'
SOURCE: MARBLEHEAD GIS

ZONING TABLE			
ZONE	U--UNRESTRICTED (94.2% OF LOT) SR--SINGLE RESIDENCE (5.8% OF LOT)		
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROPOSED	
FRONT YARD SETBACK	0 ft.	110± ft.	
SIDE YARD SETBACK	9 ft.	17.0 ft.	
REAR YARD SETBACK	8 ft.	8.5 ft.	
MIN. FRONTAGE	35 ft.	70.11 ft.	
MIN. LOT AREA	7,500 s.f.	202,949 s.f.	
PARKING CALCULATIONS			
CALCULATION	EXISTING	PROPOSED	
REQUIRED "ALL OTHER USES": 1 space/300 S.F. G.F.A.	76,962 S.F./300 257 spaces	83,712 S.F./300 279 spaces	
PROVIDED PARKING	167 spaces	161 spaces	
COMPARISON TABLE			
	EXISTING	PROPOSED	CHANGE
OPEN AREA	46,312 S.F.	46,447 S.F.	+135 S.F.

EXISTING ISLAND 1,735 S.F. IN AREA OF WORK
PROPOSED ISLANDS 1,870 S.F. IN AREA OF WORK



SHEET INDEX	
PLAN TITLE	SHEET DESIGNATION
COVER SHEET	C1
EXISTING CONDITIONS	C2
LAYOUT PLAN	C3
UTILITY PLAN	C4
GRADING PLAN	C5
DETAIL SHEETS	C6 & C7

NOTES: TOPOGRAPHIC INFORMATION FROM AN ON THE GROUND SURVEY BY HAYES ENGINEERING, INC. PERFORMED FEBRUARY 2017.
WETLAND LINE FROM AN EXISTING ORDER OF CONDITIONS EXTENSION, RECORDED WITH THE SOUTH ESSEX REGISTRY OF DEEDS BOOK 38901 PAGE 529.
DATUM IS NGVD.
PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A OR V) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 2500SC0438C; EFFECTIVE DATE: JULY 16, 2014.
SEE PLAN ENTITLED "PLAN OF LAND" BY HAYES ENGINEERING, INC. DATED SEPTEMBER 12, 2017 RECORDED IN THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS AS PLAN BOOK 464 PAGE 79.

Prepared For:
Owner / Applicant
Line Street Realty Limited
PO Box 387
B Dooks Lane
Marblehead, MA 01945

Prepared By:
Hayes Engineering, Inc.
603 Salem Street
Marblehead, MA 01945
Tel: 781.246.7599
Fax: 781.246.7598
www.hayeseng.com

Design By: WRB
Drawn By: EBL
Checked By: WRB
Project File: MAR-0033C
Comp. No: MAR27
☐ Issued For Permit
☐ Issued For Review
☐ Issued For Bid
☐ Issued For Construction
☐ Not For Construction

Scale: 1"=60'
0' 30' 60' 120'

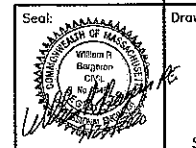
Date: September 16, 2020

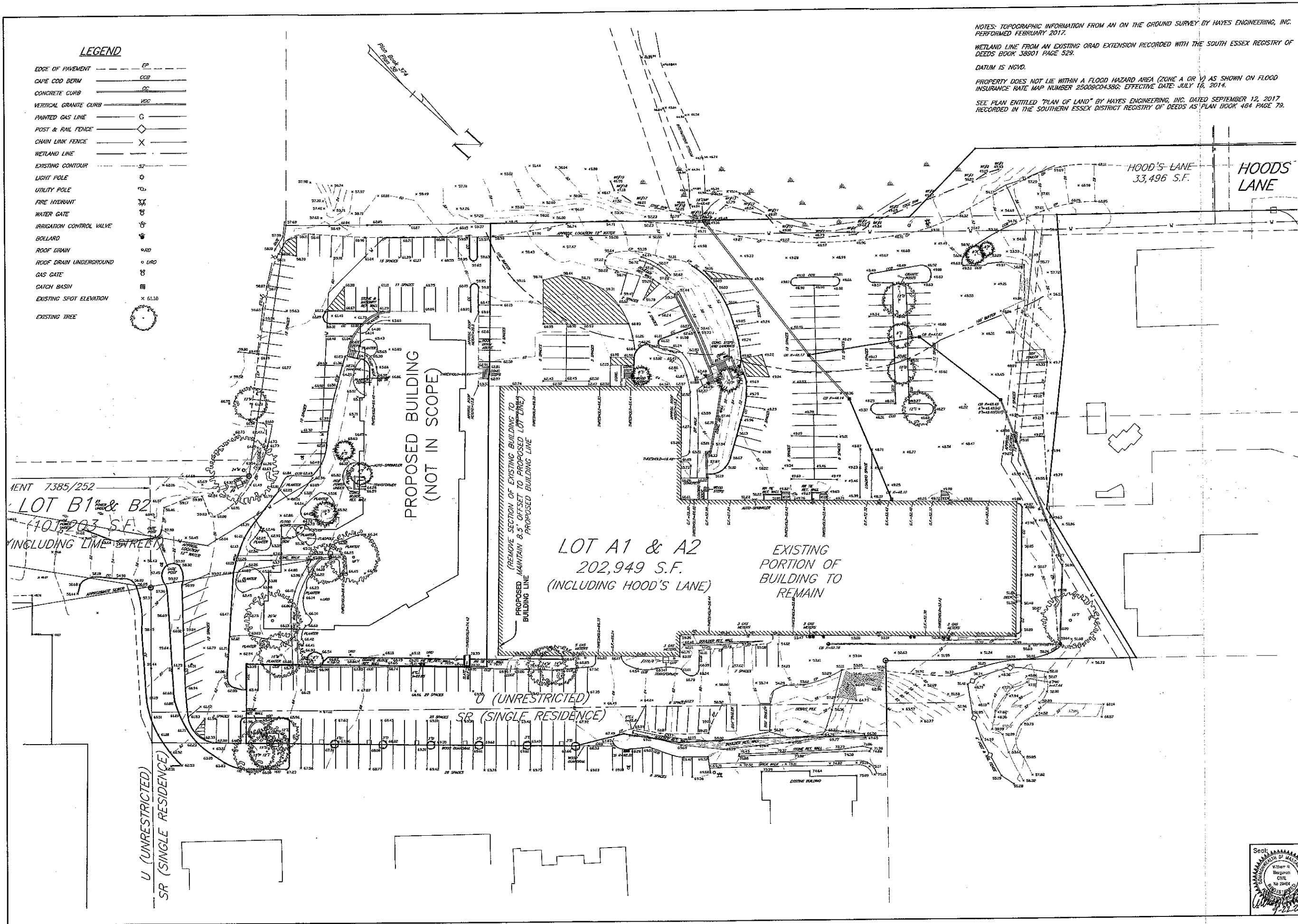
Drawing Title:
COVER SHEET
PROPOSED ADDITION
RIBCRAFT USA
#50-150 HOOD'S LANE
MARBLEHEAD, MASS.

Drawing No.:
C1

SHEET 1 OF 7

CURRENT OWNERSHIP
LINE STREET REALTY LIMITED PARTNERSHIP
BOOK 13313, PAGE 575 & LAND COURT CERTIFICATE NO. 66307
[PARCELS A & C ON PLAN BOOK 215 PLAN 80; PORTION OF LOT 9 ON
PLAN BOOK 187 PLAN 100; LOT 2 ON LAND COURT PLAN 4844-E]
ASSESSOR'S PARCEL ID 152-10-0





NOTES: TOPOGRAPHIC INFORMATION FROM AN ON THE GROUND SURVEY BY HAYES ENGINEERING, INC. PERFORMED FEBRUARY 2017.

WETLAND LINE FROM AN EXISTING ORAD EXTENSION RECORDED WITH THE SOUTH ESSEX REGISTRY OF DEEDS BOOK 38901 PAGE 529.

DATUM IS NGVD.

PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA (ZONE A OR V) AS SHOWN ON FLOOD INSURANCE RATE MAP NUMBER 25009C0438G; EFFECTIVE DATE: JULY 16, 2014.

SEE PLAN ENTITLED "PLAN OF LAND" BY HAYES ENGINEERING, INC. DATED SEPTEMBER 12, 2017 RECORDED IN THE SOUTHERN ESSEX DISTRICT REGISTRY OF DEEDS AS "PLAN BOOK 464 PAGE 79."

Prepared For:

Owner / Applicant
Luna Street Realty Limited
100 Bay Street
8th Floor
Marblehead, MA 01945

Prepared By:

Hayes Engineering, Inc.
603 Salem Street
Wakfield, MA 01880
Ph: 781.248.8800
Fax: 781.248.0595
www.hayeseng.com

Design By:

Drawn By:

Checked By:

Project File:

Comp. No:

Issued For Permit

Issued For Review

Issued For Bid

Issued For Construction

Not For Construction

Scale: 1"=30'

0' 15' 30' 60'

Date: September 16, 2020

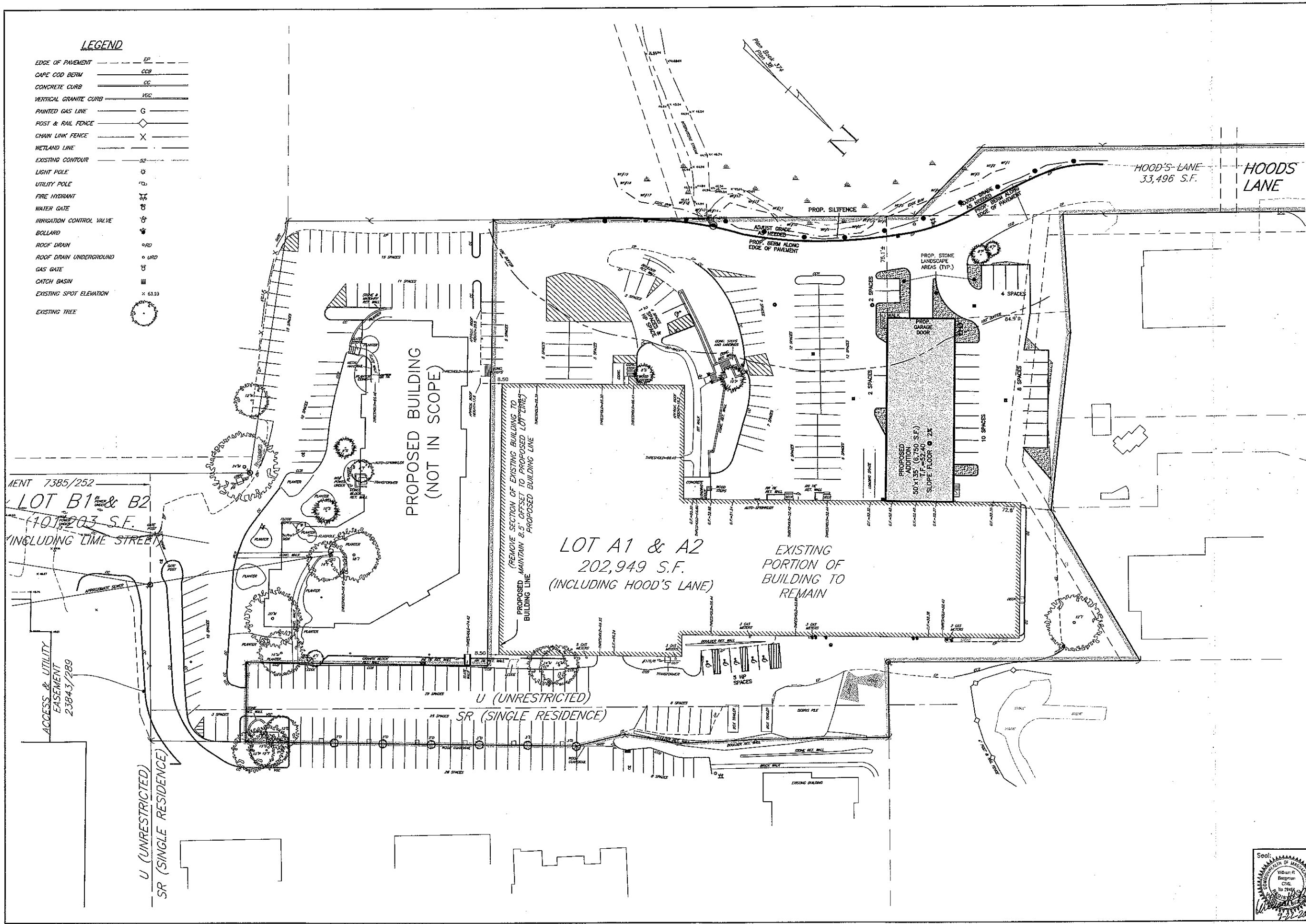
Drawing Title:

EXISTING CONDITIONS
PROPOSED ADDITION
RIBCRAFT USA
#50-150 HOOD'S LANE
MARBLEHEAD, MASS.

Drawing No.:

C2

SHEET 2 OF 7



Prepared For:

Owner / Applicant
Lime Street Realty Limited
800 Main Street
Marblehead, MA 01945

Prepared By:
Hayes Engineering, Inc.
603 Salem Street
Waverley, MA 01980
Ph: 781.246.2800
Fax: 781.246.7980
www.hayeseng.com

Design By: WRB
Drawn By: WRB
Checked By: WRB
Project File: MAR-0033C
Comp. No: MAR27
☐ Issued For Permit
☐ Issued For Review
☐ Issued For Bid
☐ Issued For Construction
☐ Not For Construction

No.	Revision	Date
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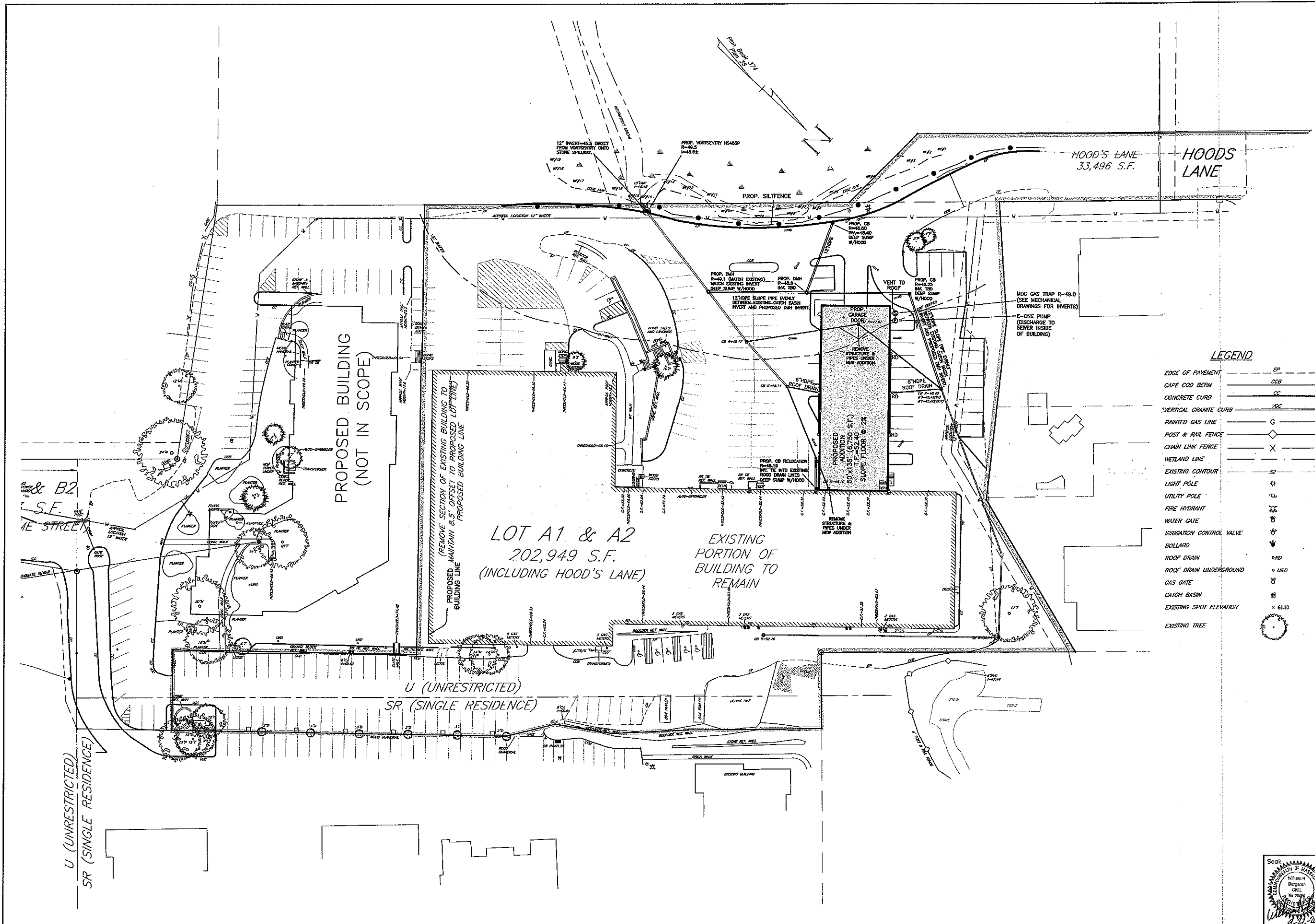
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Date: September 16, 2020

Drawing Title:
LAYOUT PLAN
PROPOSED ADDITION
RIBCRAFT USA
#50-150 HOOD'S LANE
MARBLEHEAD, MASS.

Drawing No.:
C3

SHEET 3 OF 7



LEGEND

EDGE OF PAVEMENT	EP
CAPE COD BERM	CCB
CONCRETE CURB	CC
VERTICAL GRANITE CURB	VGC
PAINTED GAS LINE	G
POST & RAIL FENCE	◇
CHAIN LINK FENCE	X
WETLAND LINE	W
EXISTING CONTOUR	52
LIGHT POLE	LP
UTILITY POLE	UP
FIRE HYDRANT	HF
WATER GATE	WG
IRRIGATION CONTROL VALVE	ICV
BOLLARD	B
ROOF DRAIN	RD
ROOF DRAIN UNDERGROUND	URD
GAS GATE	GG
CATCH BASIN	CB
EXISTING SPOT ELEVATION	6130
EXISTING TREE	ET

Prepared For:
Owner / Applicant
Line Street Realty Limited
PO Box 387
8 Docks Lane
Marblehead, MA 01945

Prepared By:

Hayes Engineering, Inc.
600 Salem Street
Marblehead, MA 01945
Ph: 781.248.2800
Fax: 781.248.7595
www.hayeseng.com

Design By: WRB
Drawn By: EBL
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No.	Revision	Date
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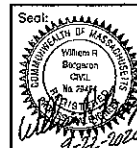
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Date: September 16, 2020

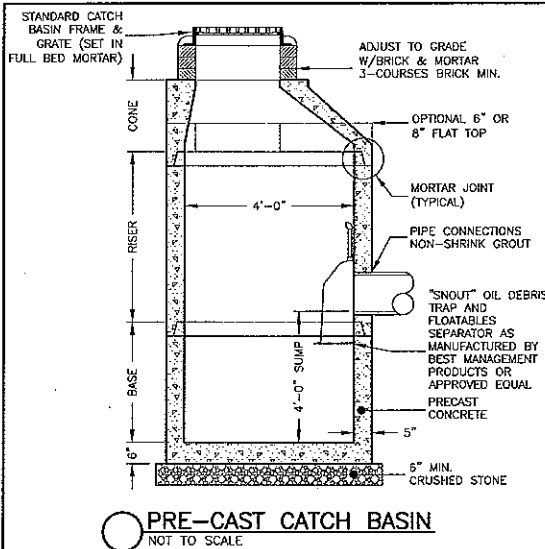
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UTILITY PLAN
PROPOSED ADDITION
RIBCRAFT USA
#50-150 HOOD'S LANE
MARBLEHEAD, MASS.

Drawing No.:
C4

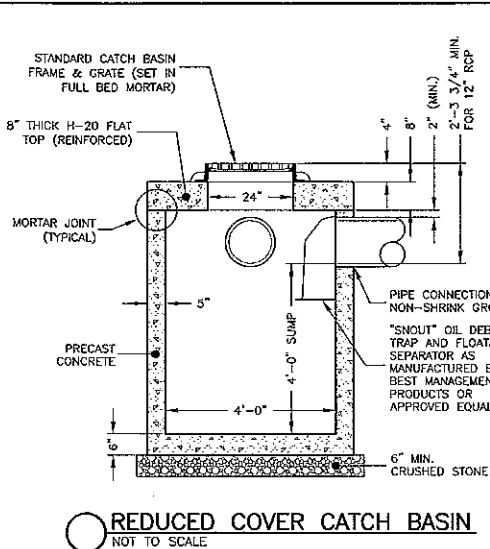
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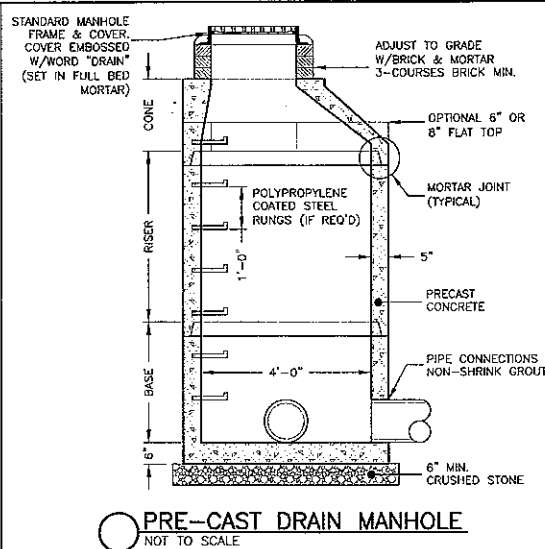
Drawing No.:
C5
SHEET 5 OF 7



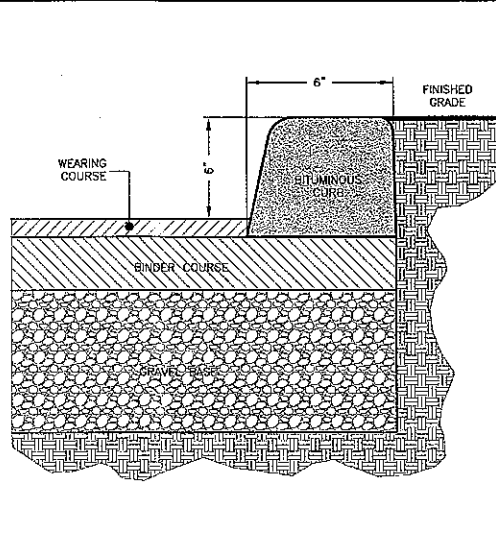
NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
2. REINFORCED STEEL CONFORMS TO LATEST ASTM A185 SPEC. 0.12 SQ. IN./LINEAL FT. AND 0.12 SQ. IN. (BOTH WAYS) BASE BOTTOM.
3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."



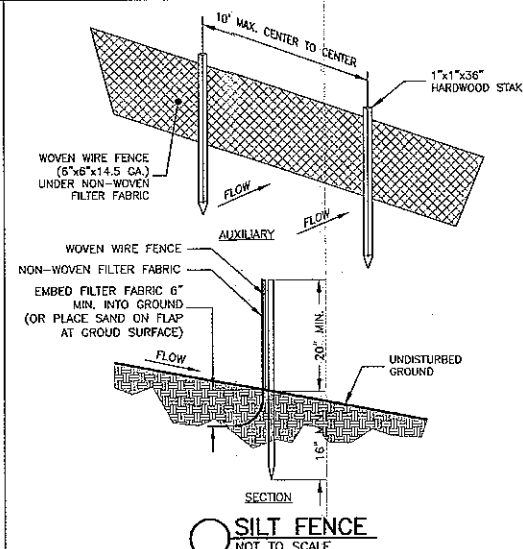
NOTES:
1. CONCRETE: 4,000 PSI MINIMUM AFTER 28 DAYS.
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3. H-20 DESIGN LOADING PER AASHTO HS-20-44; ASTM C478 SPEC FOR "PRECAST REINFORCED CONCRETE MANHOLE SECTIONS."



NOTES:
1. WOVEN WIRE FENCE (6"x6"x14.5 GA.) UNDER NON-WOVEN FILTER FABRIC TO BE USED AT ALL WETLAND CROSSINGS AND ALL AREAS WITHIN 25' OF THE WETLAND LINE. ALL OTHER LOCATIONS THE FILTER FABRIC TO BE UV RESISTANT POLYPROPYLENE WITH A MINIMUM WEIGHT OF 2.5 OZ./SQ. YD.
2. USE MULTIPLE ROWS OF SILT FENCE FOR LONG STEEP SLOPES IF NECESSARY.



NOTES:
1. WOVEN WIRE FENCE (6"x6"x14.5 GA.) UNDER NON-WOVEN FILTER FABRIC TO BE USED AT ALL WETLAND CROSSINGS AND ALL AREAS WITHIN 25' OF THE WETLAND LINE. ALL OTHER LOCATIONS THE FILTER FABRIC TO BE UV RESISTANT POLYPROPYLENE WITH A MINIMUM WEIGHT OF 2.5 OZ./SQ. YD.
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633 Salem Street
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Ph: 781-246-2800
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Rev.	Description	Date
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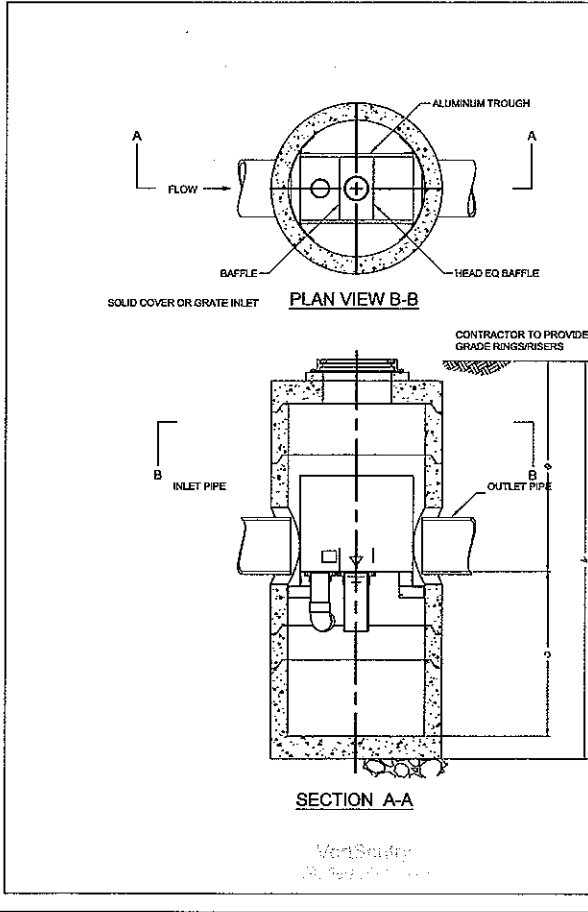
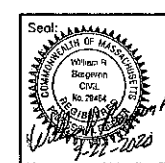
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Date: September 16, 2020

Drawing Title:
**DETAIL SHEET
PROPOSED ADDITION
RIBCRAFT USA
#50-150 HOOD'S LANE
MARBLEHEAD, MASS.**

Drawing No.:
C6

SHEET 6 OF 7



VORTSENTRY HS DESIGN NOTES

VHS RATED TREATMENT CAPACITY IS SHOWN IN THE TABLE BELOW, OR PER LOCAL REGULATIONS. MAXIMUM HYDRAULIC INTERNAL BYPASS CAPACITY VARIES. CONTACT YOUR CONTECH REPRESENTATIVE FOR ADDITIONAL INFORMATION.

THE STANDARD SOLID COVER CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW.

CONFIGURATION OPTION DESCRIPTION

GRATE INLET (NO INLET PIPE)

GRATE INLET WITH INLET PIPE

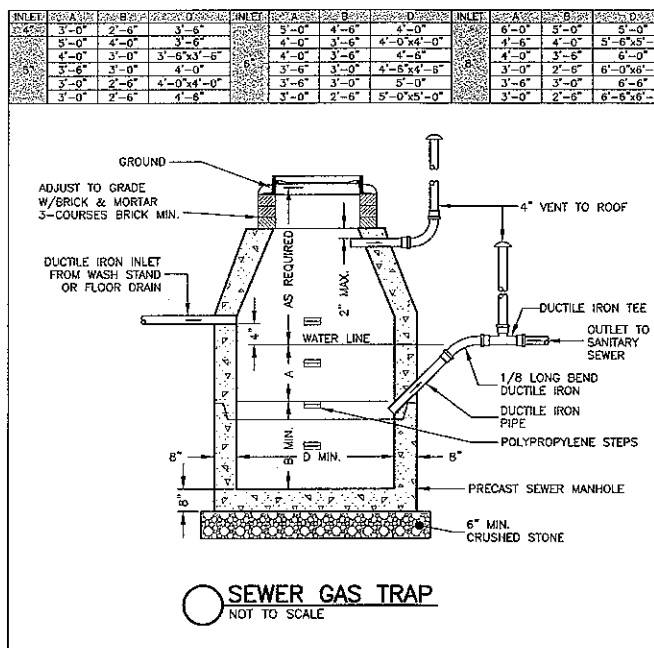
VORTSENTRY HS GENERAL INFORMATION

Model	Manhole Diameter (ID)	Total Treatment Flow Rate	Typical Total Distance Rim to Outside Bottom	Typical Total Distance Rim to Invert	Typical Depth Below Invert (inside)	Approximate Minimum Distance Rim to Invert	Maximum Pipe Diameter (ID)					
	FT	mm	CFS	L/S	FT	m	FT	m	IN	mm		
HS36	3	900	0.55	15.6	10.16	3.10	4.56	1.24	5.56	1.70	3.00	76.2
HS48	4	1200	1.20	34.0	13.25	4.04	6.90	1.83	6.75	2.05	4.00	101.6
HS60	5	1500	2.20	62.3	15.13	4.51	9.50	1.94	7.56	2.29	4.82	122.5
HS72	6	1800	3.70	104.8	16.66	5.06	6.75	2.06	8.15	2.48	5.50	139.7
HS84	7	2100	5.60	158.6	18.66	5.75	7.75	2.36	10.36	3.15	6.00	152.4
HS96	8	2400	8.10	229.4	20.67	6.36	9.50	2.59	11.54	3.51	6.81	173.0

SITE SPECIFIC DATA REQUIREMENTS

STRUCTURE ID				
WATER QUALITY FLOW RATE (CFS)				*
PEAK FLOW RATE (CFS)				*
RETURN PERIOD OF PEAK FLOW (YRS)				*
PIPE DATA:	LS	MATERIAL	DIAMETER	
INLET PIPE 1				
OUTLET PIPE				
RIM ELEVATION				
ANTI-FLOTATION BALLAST		WIDTH	HEIGHT	
NOTES/SPECIAL REQUIREMENTS:				
* PER ENGINEER OF RECORD				

CONTECH
ENGINEERED SOLUTIONS LLC
www.ContactIES.com
10000 W. 10th Avenue, Suite 100, Denver, CO 80202
303.751.1000



GENERAL CONSTRUCTION NOTES

- MANHOLE TO BE LOCATED OUTSIDE OF BUILDING WHERE POSSIBLE, COVER TO HAVE A CENTER HOLE.
- A TIGHT COVER MUST BE USED IF MANHOLE IS LOCATED INSIDE OF BUILDING.
- OPENING SHALL BE NOT LESS THAN 24" DIA.
- THE MANHOLE SHALL BE SO LOCATED AND CONSTRUCTED THAT SURFACE WATER SHALL BE EXCLUDED.
- INLET PIPE SHALL BE AT LEAST FOUR INCHES ABOVE NORMAL WATER LINE.
- WHERE SUBJECT TO FROST OR CRUSHING CONDITIONS, OUTLET SHALL BE AT LEAST THREE FEET BELOW THE SURFACE.
- THE NEW MANHOLE MUST BE FILLED WITH CLEAN WATER BEFORE USING, AND AFTER BEING EMPTIED FOR PERIODIC CLEANING.
- ALL OIL AND GASOLINE MUST BE REMOVED BEFORE CLEANING OUT THE MANHOLE, AND MUST NOT BE DISCHARGED INTO THE SEWER THROUGH OTHER FIXTURES.
- SPECIFICATIONS FOR COVERING SPECIAL CASES OR CONDITIONS, SHALL BE APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE COMMONWEALTH OF MASSACHUSETTS.
- POLYPROPYLENE STEPS SHALL BE SPACED ABOUT 18" APART.
- BOTH VENTS SHALL BE EXTENDED INDEPENDENTLY 18" ABOVE THE ROOF, OR AS APPROVED BY THE LOCAL AUTHORITIES, AND THE AUTHORITIES OF THE COMMONWEALTH OF MASSACHUSETTS.

